

Old Orland Historic District Guidelines

prepared for
The Village of Orland Park
Historic Preservation Review Commission

prepared by
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and
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Rev. 1/92

Old Orland Historic District Guidelines



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Old Orland Historic District Guidelines

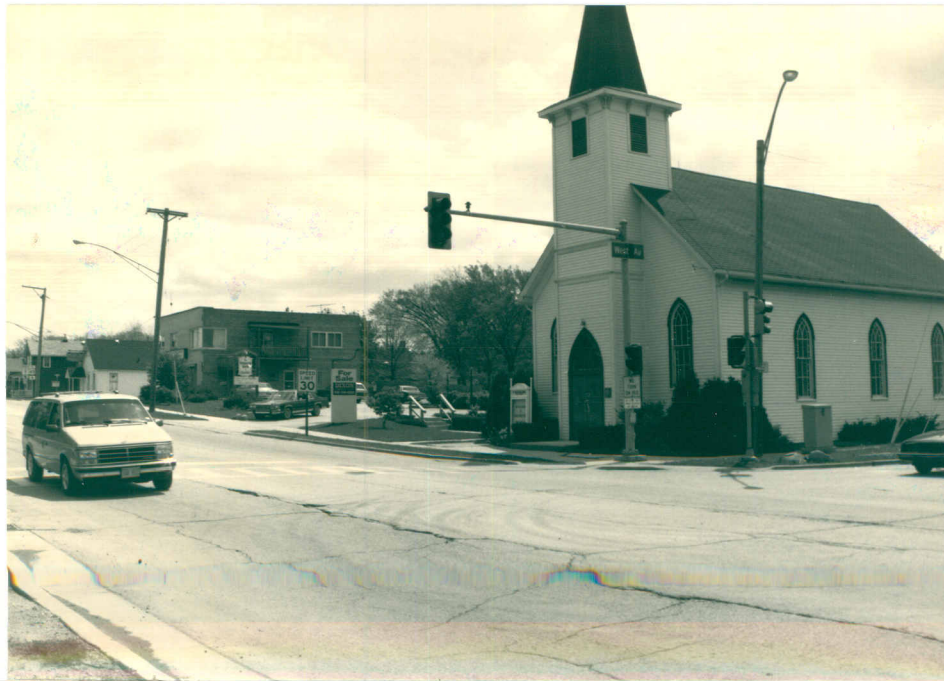


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Old Orland Historic District Guidelines

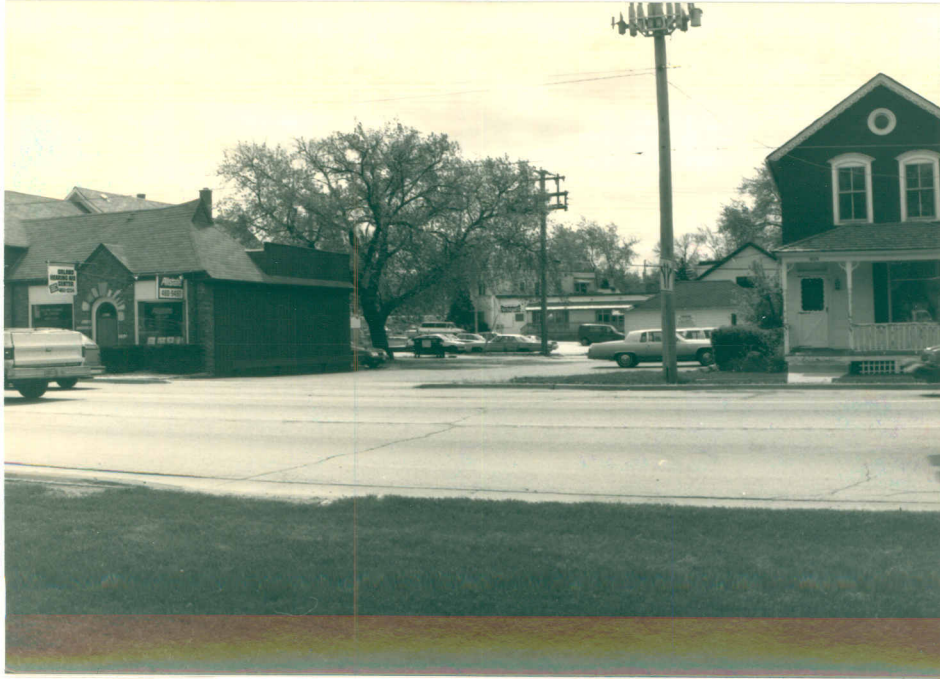


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Old Orland Historic District Guidelines



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Old Orland Historic District Guidelines



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J

Old Orland Historic District Guidelines

B. District Development

The district consists of two distinct components: the commercial core and the remaining semi-residential areas.

BUILDING SETBACKS AND RHYTHMS

Building setbacks have been established by the original function of the property: residential setbacks are generally greater, while commercial buildings have a minimal setback with buildings set close to the street directed toward the sidewalk. New setbacks should follow the existing adjacent patterns. The property facing 144th Place between Third Avenue and Beacon Avenue has a large, open lot with residential landscape features which should be preserved.

Properties with parking currently present within the front yard setback should have a landscape screen or buffer to the street. No new front yard parking should be allowed within the district. In the semi-residential portions of the district, existing setback patterns should be followed for the buildings. For all parking in side or rear yards a minimum five foot setback for landscaping and screening should be required.

New designs should be treated as infill and should be compatible in height, scale, proportion and character to the district. If the need arises, endangered historic buildings of the same period can be relocated to the district as infill. Spacing, cornice heights and building materials should relate to the existing historic properties. In adhering to established setbacks for front and side yards, the rhythm of the spaces visible from the street will be strengthened.

STREETSCAPES

Due to gaps and inconsistencies within the district, simple, uncluttered, consistent, district-wide use of streetscape elements would help to unify and identify the area.

LIGHTING

Simple decorative street lighting, such as restrained period luminaires on unadorned cast metal or concrete posts, should be used in place of telephone poles with high intensity overhead lights. Relocation of the above ground utility lines underground would remove visual clutter.

PAVING

Paving should be compatible in appearance with materials available in the period of the original structures yet should serve current needs. While brick pavers are the most appropriate material, interlocking concrete pavers made to simulate brick may be more practical and cost effective.

Old Orland Historic District Guidelines

LANDSCAPING

Landscaping should be simple, naturalistic and appropriate to the period. Trees and large shrubs should be used to provide an interesting backdrop for the simple architecture of the district. Trees which have grown too close to the buildings and material which has become overgrown should be trimmed or removed. Areas of green should be preserved wherever practical to enhance the residential character of the neighborhood. Landscaping should be used to screen inappropriate elements, ie. parking, service courts, or air conditioning equipment. Landscaping can also be used to close off views to areas both outside the district and within which distract from the district focus.

SITE FEATURES

Site features, including fences, signs, benches and other elements should be based on knowledge of the past appearance of the property and should be appropriate to the existing site features in scale, character and materials. When no documentation or past appearance is available, all site features should be uncluttered and simple in design. Signage is especially sensitive since it is so highly visible and since so many of the existing signs are inappropriate. Sensitively scaled painted wooden signs with unobtrusive detached lighting, when necessary, are most appropriate.

PARKING

Because of the nature of the commercial uses, many customers patronize more than one retail shop. Parking needs should be calculated and addressed on a districtwide, as opposed to individual site, basis whenever possible. A common parking lot along the railroad tracks could provide parking for both commercial areas in a single location. This should be screened from adjacent properties and streets. Long term commuter parking would be better served north of 143rd Street adjacent to the commuter station. No new parking should be allowed in front-yard setbacks and all parking should be screened using appropriate landscaping. This would require a minimum five foot landscape setback for all parking. Common drive and alley access where available would minimize curb cuts and lessen the amount of visible paving.

CIRCULATION

The commercial core of the district is fragmented by the railroad tracks which impede circulation within the area. Construction of a parking lot along the tracks with a grade crossing connecting the lot to Union Street would unify the areas and facilitate both pedestrian and vehicular circulation.

Sidewalk improvements, benches, crosswalks and the installation of pedestrian signals at busy intersections will encourage pedestrian movement.

Old Orland Historic District Guidelines

C. Building Uses

One of the most difficult challenges facing the Old Orland Historic District will be to maintain the historic, semi-residential character of the area in the face of commercial redevelopment. Permitted uses within the area should be restricted to small retail businesses, offices, and low density residential, all of which are compatible with the scale and ambiance that defines the area. More control can be exercised by the adoption of a "Mixed-Use Zoning" Ordinance for the district or by the requirement of a Special Use permit for zoning changes.

Old Orland Historic District Guidelines

III. EXISTING BUILDINGS

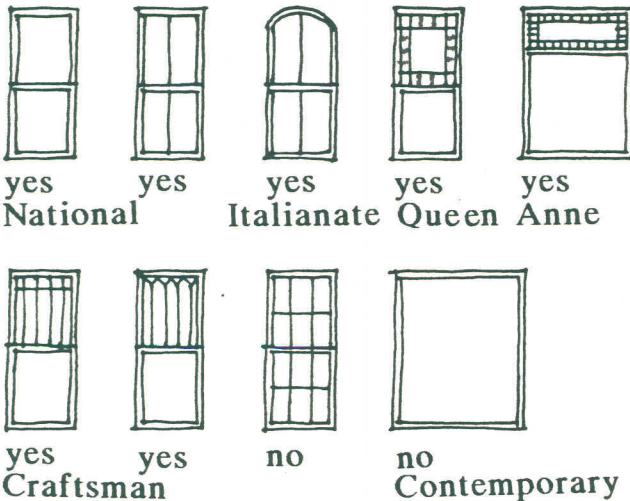
The early buildings in the historic district are wood frame with wood siding and trim. Refer to Preservation Brief No. 10 for maintenance of paint on exterior woodwork.

Some of the later commercial buildings in the district are of brick. Refer to Preservation Briefs No. 1, 2 and 6 for maintenance to historic masonry.

A. Building Components

WINDOWS

Windows within the district are predominately wood, double hung sash windows. While some sashes are divided into multiple lights, others are of a single light. On some buildings, ie. the Folk Victorian, the window frames have distinctive ornament. While storm windows were not original to these windows, many now have exterior storms and screens.



Windows should be repaired rather than replaced. Refer to Preservation Brief No. 9. If sash replacement is necessary, the same materials should be used and the wood members should be the same dimensions (thicknesses) as the original members. The divisions of glass should be retained or simplified. Where transoms are evident they should be retained. If the original window is not existing, refer to historical evidence, other original windows on the building, or to similar buildings within the district. Where the window sash and frame are to be replaced, the replacement window should be made to fit the opening. Smaller windows with filler panels do not retain the size and character of the original window. Storm windows and/or screens should be of wood or painted metal. The divisions of the storm window should align with the divisions of the window.

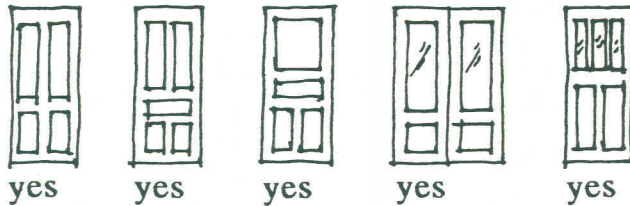
Avoid shutters unless they were original to the building. Shutters should be half the width of the window opening and be hinged rather

Old Orland Historic District Guidelines

than screwed to the siding. Windows of the Colonial style with multiple lights in upper and lower sash would be inappropriate to the district's period. Synthetic trim to cover existing trim and synthetic siding which conceals the original wood window frame is to be avoided. Glass block is not appropriate to the district.

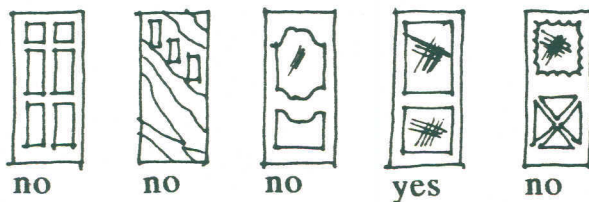
EXTERIOR DOORS

Typically the National or Folk Victorian buildings had wood doors of four or five panels. The entrances may have had side lights and/or transoms at the main entrance. Later district styles of Queen Anne and Craftsman had paneled doors with lights in the upper portion. Some Commercial Italianate buildings had a pair of doors with lights and/or transoms at the entrance.



It is preferable to repair rather than replace. Maintain wood finish. Caulk between the frame and the siding. If a replacement door is necessary it should be of wood with the appropriate paneling to the architectural style with sidelights or lights in the door as appropriate. If a storm or screen door is necessary, it should be wood with full size screen or glass. Any metal should be painted.

Avoid six panel doors, contemporary flush doors, high-gloss metal storm doors, and storm doors with a solid lower panel.



Old Orland Historic District Guidelines

EXECUTIVE SUMMARY

The Village of Orland Park commissioned Anne McGuire, Architect in conjunction with Linda F. Grubb & Associates, Architects to survey the Old Orland Historic District, redefine boundaries, and develop guidelines for work to the district. The survey was completed March 29, 1991 by Anne McGuire and Joseph Hoerner and submitted to the Historic Preservation Review Commission on April 16, 1991.

The Old Orland Historic District is bounded by West Avenue, 143rd Street, the properties on the east side of Beacon Avenue and the properties on the south side of 144th Place. Within the district twenty-six buildings have been identified as contributing. The earliest historic buildings were constructed c.1880. Buildings found contributing date from c.1880 to c.1920. The early buildings are primarily National, Commercial Italianate and Folk Victorian in style. Later styles are found interspersed. Building uses are primarily commercial and residential with a few religious functions included.

These guidelines describe appropriate approaches to rehabilitation and new construction within the district. These guidelines should be referenced when identifying, undertaking, or reviewing proposals for work to the district. Historic structures outside of the district should also be encouraged to follow these guidelines.

In addition to these guidelines, it is suggested that the Village of Orland Park develop a plan for improved vehicular and pedestrian circulation, parking, and railroad grade crossing in order to unify the commercial core.

A Special Mixed-Use Zoning Ordinance should be considered to more accurately reflect the needs of this unique district.

Old Orland Historic District Guidelines

PORCHES AND OVERHANGS

Where they do exist in the district, porches are found on what were originally residential structures of National, Folk Victorian, Queen Anne, and Craftsman styles. The original commercial structures come closer to the street and do not have porches. Some of the early modest houses have a stoop, some with overhangs, in lieu of a porch. All porches are made of wood with detailing varying with architectural style. The Folk Victorian porch has spindlework or flat cut trim similar to the Queen Anne. The Queen Anne porch is asymmetrical with spindlework and elaborate detailing and delicately shaped supports or classical columns. In many cases the porch was constructed after the house and may have differing stylistic elements, such as Folk Victorian porches added to National style houses. The classical round columns and boxed-in cornices of Greek Revival; the spindlework of the Queen Anne; or the brackets, square posts and beveled corners of the Italianate were sometimes added.

Because porches add so much to the streetscape and the vocabulary of the district, every effort should be made to retain them. Repairs should be made to keep porches from deterioration. Maintain painted surfaces to avoid deterioration. Enclosing a porch detracts from the character of the main facades and should be avoided. If a porch is enclosed, effort should be made to keep porch elements visible by recessing the screen or windows. The area between the porch and the grade was typically open or enclosed with horizontal and vertical lattice work.

Avoid enclosing porches, recladding porches with synthetic siding, or eliminating significant detailing on porches.

CHIMNEYS

The buildings in the district have simple brick chimneys. Repair chimneys by repointing mortar joints where deterioration is evident and duplicating the existing mortar and joint profile. If rebuilding is necessary, maintain original profile and match original brick. Refer to preservation Brief No. 2.

Avoid cladding the chimney with siding or stucco which would obscure the brick.

STOREFRONTS

Several of the Commercial Italianate buildings in the district have storefronts. While one of the buildings has a storefront which appears to be original or compatible with original, the storefronts in other commercial buildings are not compatible. Also, many originally residential National and Folk Victorian structures now serve retail occupancies. Some have been modified to add storefronts or use windows as display windows. Refer to Preservation Brief No. 11. By the 1850's glass was available in larger panes and a storefront could be enclosed in glass.

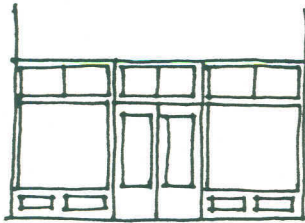
If merchandise is displayed in a residential building which did not originally have a storefront, the original windows should be retained without modifying openings.

Old Orland Historic District Guidelines

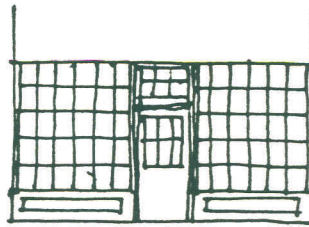
If a building is a commercial building with a storefront, the storefront should be retained if original or typical of the time period. If it is not an appropriate or sympathetic storefront, rehabilitation is recommended to enhance the building's integrity and the district's streetscapes.

If the building has a storefront where one did not originally exist, rehabilitation to more appropriate materials and openings would be most appropriate.

Avoid losing important original storefronts. Do not introduce contemporary storefronts with large expanses of glass, glass block, or high-gloss metal frames. Do not imitate an earlier historical style with mansard roofs, wood shakes, inoperable shutters, coach lanterns, or Colonial type multiple lights.



yes



no

LANDSCAPING AND FENCES

Common features of the residential buildings are front lawns with setbacks, trees and vegetation. Numerous elements exist which do not contribute to the district. These elements include: chain link fences, exotic plants, gravel beds, and raised timber-edged beds.

While fences may have been used they are not now common to the district. The streetscape is formed by the consistent setbacks, front lawns, and plantings.

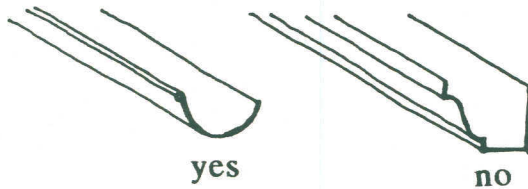
Appropriate rehabilitation would include: cutting back or removing foundation planting which is overgrown and obscures building elements; maintenance of front lawns in areas of residential setbacks; and removal of landscape features which are unique to contemporary gardens. The use of fencing or other architectural elements to define a site is acceptable if historical evidence is available, when used to strengthen the setback line, or when used with planting to screen vehicles, loading areas, or other service requirements. Fences sufficiently high to screen vehicles are inappropriate to the district where visible from the street. Lower fences can, however, be used in conjunction with landscaping to add definition to the screening. Fences which contradict the streetscape rhythm can be removed.

Old Orland Historic District Guidelines

Avoid gravel, timber-edged beds, exotic plant materials, and fences which interrupt the rhythm of the street scape. Use appropriate indigenous plant materials wherever possible.

GUTTERS

Gutters used on houses of this time period were half round in profile. Gutters with molded profiles were not commonly found on National of Folk Victorian buildings of this time period. Maintain gutters and downspouts in order to keep the rain water away from the building. Keep free of leaves and debris and repair when deteriorated.



LIGHTING

A few of the buildings which were constructed later incorporated exterior electric lighting. If original fixtures are extant they should be carefully maintained. If exterior fixtures were not original to the building, then lighting with a hidden light source, or with simple fixtures appropriate for the architectural style of the building, is recommended.

EXTERIOR STAIRS

As the uses of the buildings has changed, several buildings have been modified with the construction of exterior stairs to the upper floor. These should be avoided when possible. When permitted they should be located on the rear facade. Existing stairs would be best painted to match the color of the building and screened from view to the extent possible.

Old Orland Historic District Guidelines

B. Materials

ROOFING

Gabled roofs within the district were most likely covered in wood shingles or painted tin sheathing. The more elaborate Queen Anne roofs were often sheathed in decorative wood shingles. Today these roofs have been reroofed in asphalt shingles. The commercial buildings within this district have flat roofs.

Rehabilitation using wood or asphalt shingles is appropriate. Wood shingles should be machine cut; avoid hand split wood shakes. Asphalt shingles should be simple, flat and smooth. Metal roofing in terne coated steel painted a color typical of the era would also be appropriate. An asphalt shingle in the color of an earlier tin roof would also be acceptable.

Porch roofs, while typically covered in the same materials as the main roof, often have a pitch which is too low for the proper functioning of shingles. If a shingle roof is selected for the main roof, the manufacturer should be consulted to determine if a shingle or roll roof is most appropriate for the porch. Flat roofs can be reroofed with any of a number of systems available today.

Avoid asphalt shingles with rough, thick texture made to replicate shakes. Also avoid asphalt shingles in the color of new wood.

SIDING

The wood frame buildings of the district era were typically sided with horizontal wood clapboard. This siding was usually plain beveled boarding, yet in some cases it was beaded at the edge. The Folk Victorian and Queen Anne buildings also have some decorative shingle courses as part of the siding. This was typically on the primary gables of the building. Many of these building are now sided with composition board, asbestos board, rough sawn plywood siding, or presently available aluminum or vinyl siding.

Rehabilitation would include uncovering the original siding, if it is extant, and making repairs as necessary. If the original siding is in place it should be repaired and maintained regularly. Because moisture problems can increase the deterioration to the siding, it is important to rectify any roof or gutter deterioration which could allow moisture to reach the wood siding.

All painted surfaces should be carefully maintained. Houses can be done in multiple color schemes. Lighter paint colors will not conceal the shadow lines of the narrow clapboards and the decorative trim. Use of lighter colors will enhance the decorative qualities of the facade.

Avoid synthetic sidings such as aluminum or vinyl. When these cannot be avoided, siding which best replicates the dimension of the original clapboards should be selected. When installed, sythetic siding often conceals the decorative trim work. This trim should be left exposed as should the foundation wall. Refer to Preservation Brief No. 8.

Old Orland Historic District Guidelines

If removing a material which may contain asbestos, a professional in the removal of asbestos registered with the state should be contacted regarding this hazardous material.

Some later buildings within the district are sided with brick or brick and stone. Repairs should be undertaken when necessary to the deteriorated mortar joints. Mortar and brick tooling should match the original. If new brick must be introduced, it also should match the original in size, texture, color and variation. Refer to Preservation Brief No. 2.

Avoid repointing with a mortar matched to the brick rather than to the original mortar. Avoid applying mortar beyond the joints onto the face of the brick or stone itself.

TRIM

Wood trim is generally found on the cornices, porches, door and window frames. On the Commercial Italianate style buildings the cornices were originally bracketed. Many of these brackets are now missing.

Original wood trim should be repaired if possible. Maintain the paint coating to avoid deterioration of wood trim. If trim must be replaced, the profiles of the original trim elements should be maintained. Restore missing elements based on historical evidence, or on profiles from buildings of same type and time period.

Avoid concealing decorative trim with synthetic siding and synthetic closure pieces used to clad window frames or soffits. Avoid removing original decorative trim elements or replacing them with profiles from another style.

FOUNDATIONS

Some original stone foundations exist. Many foundations are made of rusticated concrete block. These foundations were originally exposed. Later foundations are of brick, smooth faced concrete block, or of poured concrete.

It is important to keep a foundation in good repair. Repairs should be undertaken when necessary to the deteriorated mortar joints. Mortar and tooling should match the original. Refer to Preservation Brief No. 2. Avoid applying mortar beyond the joints onto the face of the brick or stone itself.

Correct faulty gutters, downspouts, or foundation grading to ensure water does not flow toward the foundation walls. Cut back or remove overgrown foundation plantings.

Avoid covering the foundation with siding material.

Old Orland Historic District Guidelines

IV. NEW BUILDINGS AND ADDITIONS

While new construction which is introduced into the district should be appropriate, it should not create a false historic appearance through the replication of a specific architectural style. Contemporary design should not be discouraged when it does not destroy significant historical architectural material and when it is compatible with the size, scale, color, material, and character of the property or district. (Refer to the Secretary of the Interior's Standards.)

A. Site Considerations

BUILDING SETBACKS AND RHYTHMS

In order to maintain building rhythms, new buildings should conform to the established setbacks of adjacent properties. Additions, excluding open porches, should be set back at least one foot from the front wall of the existing building. Side yard setbacks should be five feet where adjacent properties is commercial and ten feet where adjacent property is residential. Rear yards shall be a minimum of twenty-five feet for buildings except detached accessory buildings which should be a minimum of five feet side and rear yard setbacks.

LANDSCAPING

Landscaping should be simple, naturalistic, and appropriate to the period with front lawns to provide street continuity.

SITE FEATURES

New accessory buildings shall adhere to district guidelines. Other site features such as swing sets and dog runs shall be confined to rear yards.

PARKING

No new parking should be allowed in the front yard setback. Side yard parking, if allowed, and rear yard parking should have a minimum five foot setback and should be screened from the street and adjacent properties by appropriate landscaping.

Old Orland Historic District Guidelines

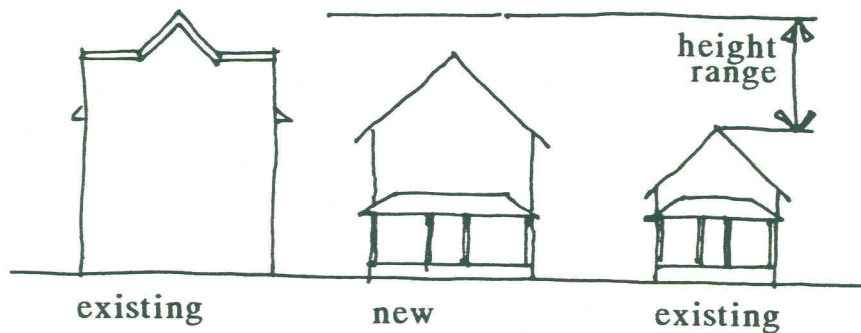
B. Building Considerations

In adding to an existing building the guidelines should be firmly enforced with regard to the matching of building elements and materials to the original existing building.

HEIGHT, PROPORTION, AND SCALE

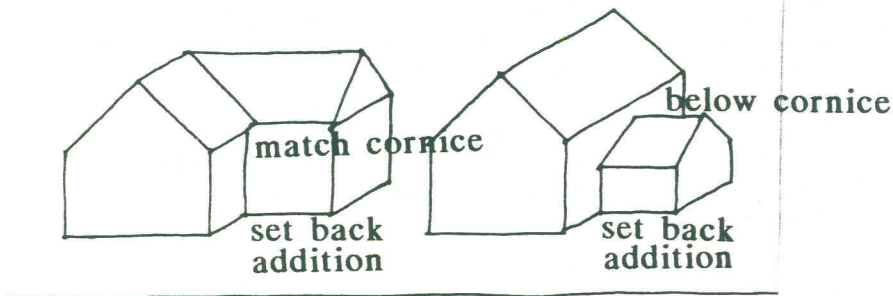
The height of buildings within the district is typically 1, 1 1/2, and 2 stories. The front facades are predominantly end gables with the height of the facade greater than the width, resulting in a vertical proportion. Windows and doors generally reinforce the vertical proportion. The elements of the facades which define the scale of the building, such as the windows, doors, porches, and surface treatments are similar in most of the buildings of the district. The porches and entrances to the various buildings relate to both the human scale and to each other. This results in a consistency of scale throughout.

New construction heights should fall within the range of heights of the adjacent buildings. This will vary throughout the district. Adjacencies need not be limited to the one building on either side of the proposed new construction. The heights of several buildings, including those on the opposite side of the street, should influence the height.



Old Orland Historic District Guidelines

The height of an addition to an existing building should not be greater than the height of the existing building. Deference should be given to the existing cornice or eave line(s).



The proportions of the facade of the new building should reinforce the proportions which predominate within the district. For an addition to an existing building the proportions of elements such as windows and doors should be maintained.

The small, human scale of the district should be followed in the selection and extent of materials such as siding, trim, porches, entrances and decorative elements.

Avoid new construction which is disparate in height from the range within the district. Avoid horizontal proportions and large scale elements, particularly on facades visible from public ways.

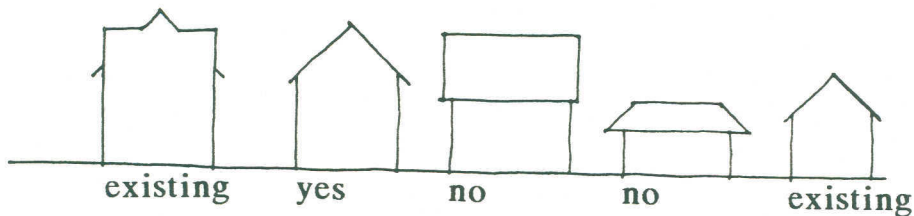
Old Orland Historic District Guidelines

MASSING

The masses are typically gabled with end gable to the street. Among the exceptions are the John Humphrey House, which is side gabled and corner sited, and the later Commercial style buildings of the twentieth century which are flat roofed. The wood gabled residential buildings are set back from the street and set off by a front porch or a stoop with an overhang. The commercial buildings are box-like in massing. Frequently the buildings display a smaller addition to the side or rear.

Generally, the bulk of the buildings fall within one of two categories based on their original use: residential buildings which usually have one story front porches and are sited with setbacks, and commercial buildings which meet the sidewalk without setback or porch. Residential buildings are usually sited further apart, while commercial buildings are sited closer together.

New construction and additions within the district should fall within one of these two categories. It is understood that the residential areas may increase in density somewhat with the introduction of additions and infill. An increase in the density of the commercial areas due to infill or additions would also serve to strengthen the streetscape.



Old Orland Historic District Guidelines

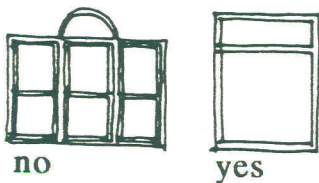
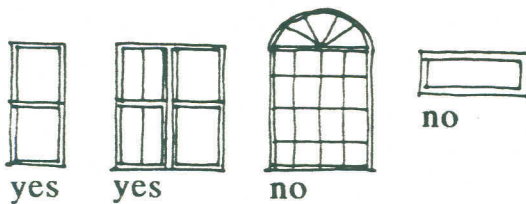
COMPONENTS

For a description of the common or predominant building components found in the district, refer to the specific component in III. A. above page 15.

WINDOWS

Simple double hung windows with vertical proportions would be appropriate. If divided lights are used they should be true divisions. Wood windows are preferred. If metal windows are used they should have a painted finish. Storm windows and/or screens should be of wood or painted metal. The divisions in the storm window should align with the divisions of the window.

Avoid horizontal bands of windows, snap-in muntins, slender proportions, and high-gloss metal finishes. Unique contemporary shapes or casements should be avoided or incorporated into the rear facade.

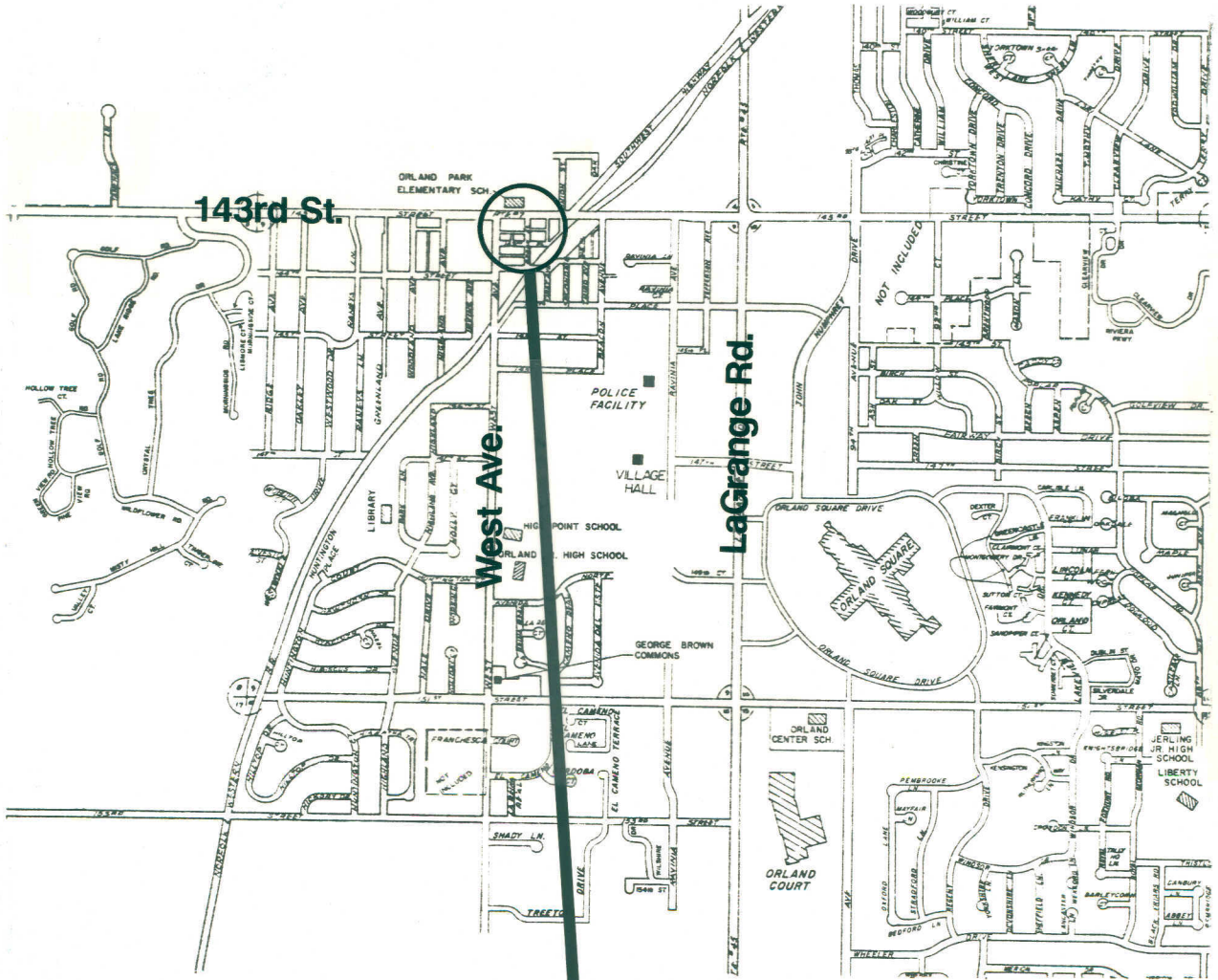


EXTERIOR DOORS

Wood paneled doors either solid or with light(s) in the upper portion would be appropriate. For Greek Revival style elements, of which there are few in the district, side lights and transoms could be used.

Avoid metal doors with embossed paneling, six panel doors, and contemporary flush doors.

Location Map



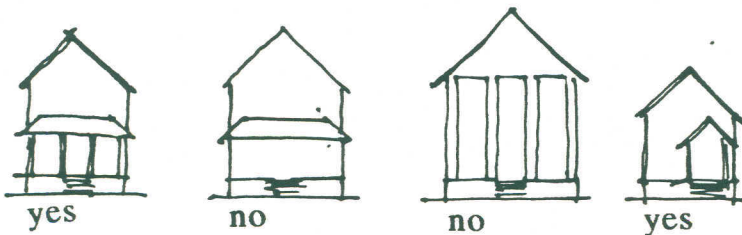
Old Orland Historic District

Old Orland Historic District Guidelines

PORCHES AND OVERHANGS

A porch or entrance overhang is common to the residential buildings within the district. These one story elements set up a consistent relationship to the street. For new construction, a porch or one story element on the front facade would help to maintain this relationship. These should be detailed in wood with appropriately scaled features such as railings, trim, and supports.

Avoid two-story porches or overhangs, mansard roof elements and overhangs without vertical supports.



CHIMNEYS

Chimneys were present on all historic buildings within the district. New construction which include chimneys should use brick chimneys with a simple profile. The brick should be similar in appearance to the historic brick.

Avoid cladding a flue with stucco or siding materials.

STOREFRONTS

Storefronts are found on buildings which were historically used for commercial purposes. Original storefronts consisted of wood framed glass set flat and in line with the building's main facade. For information on historic storefronts, refer to Preservation Brief No. 11. New buildings with storefronts should incorporate a design compatible with the size and scale of the existing storefronts. Frames should be of wood or painted metal. Glass should be set flush with the facade.

Avoid installing a storefront in a former residential building or in a building type which did not originally contain a storefront. Do not introduce contemporary storefronts with large expanses of glass, glass block, or high-gloss metal frames. Do not use Colonial type multiple lights in the storefront.

Avoid high-gloss or metallic finishes or projecting bay storefronts.

Old Orland Historic District Guidelines

LANDSCAPE AND FENCES

Maintain front lawns in areas of residential setbacks. The use of fencing or other architectural elements to define a site is acceptable if historical evidence is available, when used to strengthen the set back line, or when used with planting to screen vehicles, loading areas, or other service requirements. Fences sufficiently high to screen vehicles are inappropriate to the district where visible from the street. Lower fences can, however, be used in conjunction with landscaping to add definition to the screening. Fences which contradict the streetscape rhythm can be removed.

Avoid gravel, timbered edged beds, exotic plant materials, and fences which interrupt the rhythm of the streetscape. Use appropriate indiginous plant materials wherever possible.

MATERIALS

ROOFING

Non-original asphalt roofs are presently the most common roofing material. Original roofing materials most likely included wood shingles, and painted metal. New roofing using wood or asphalt shingles is appropriate. Wood shingles should be machine cut; avoid hand split wood shakes. Asphalt shingles should be simple, flat and smooth. An asphalt shingle in the color of an earlier tin roof would also be acceptable. Metal roofing in terne coated steel painted a color typical of the era would also be appropriate.

Porch roofs, while typically covered in the same materials as the main roof, often have a pitch which is too low for the proper functioning of shingles. If a shingle roof is selected for the main roof, the manufacturer should be consulted to determine if a shingle or roll roof is most appropriate for the porch. Flat roofs can be reroofed with any number of a number of appropriate systems available today.

Avoid asphalt shingles with rough, thick texture made to replicate shakes. Also avoid asphalt shingles in the color of new wood.

SIDING

Wood clapboard siding, some with decorative wood shingles, is the most prevalent siding in the district. Brick is also found in the district on later, twentieth century buildings. New construction in wood frame construction with wood siding in a scale to complement the siding in the district would be most appropriate. Foundations should be exposed. Brick, used in limited amounts throughout the district, is acceptable.

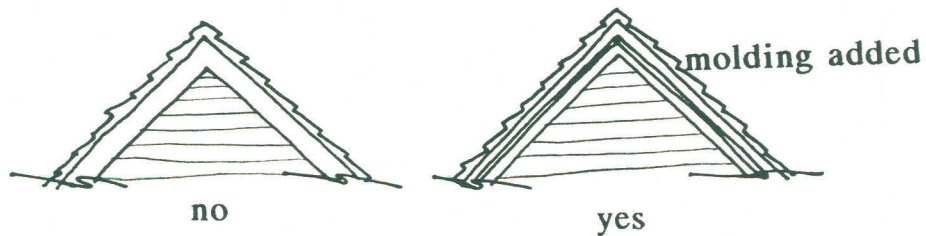
Avoid synthetic siding of vinyl or aluminum. Refer to Preservation Brief No. 8. If these must be used, select one which has smaller scale clapboards rather than large scale clapboards. The installation of synthetic siding must provide for detailing around windows and doors. Avoid stucco which is not appropriate to the district. Avoid brick which does not have the appearance of the historic brick.

Old Orland Historic District Guidelines

TRIM

Trim used within the district is of wood. Some trim is flat and simple whereas other trim is molded in profile. New construction should use painted wood trim with proportions and details similar to that found throughout the district.

Avoid detailing with flat trim devoid of decorative profiles at the cornices and eaves. Some simple flat trim used at doors and windows is appropriate. Avoid slender dimensions and high-gloss metals. Synthetic materials such as vinyl and aluminum used to frame out windows, doors and eaves are often without sufficient detail.



FOUNDATIONS

Concrete block and stone are commonly used throughout the district. New construction should employ poured concrete foundations with stone or brick veneer, or exposed poured concrete foundations. Concrete block is not recommended for use in this climate. The foundation should not be concealed by the siding.

Old Orland Historic District Guidelines

V. GLOSSARY

BEAD A narrow wood strip molded on one edge.

BRACKET A support element under eaves, shelves or other overhangs; often more decorative than functional.

CASEMENT A window with sash hung vertically and opening inward or outward.

CLAPBOARD A long, narrow board with one edge thicker than the other, overlapped to cover the outer walls of frame structures. The bottom edge is sometimes beaded.

CORNICE In classical architecture, the upper, projecting section of an entablature; projecting ornamental molding along the top of a building or wall.

DOUBLE HUNG SASH WINDOW A window with two sashes, one above the other, arranged to slide vertically past each other.

EAVES The projecting overhang at the lower edge of a roof.

GABLE A triangular wall segment at the end of a gabled or double-pitched roof.

LIGHT Openings between the muntins of a window.

LUMINAIRES Light fixtures.

MANSARD ROOF A roof with a double slope, the lower being longer and steeper than the upper.

MASONRY Construction of materials such as stone, brick, or adobe.

MOLDING A continuous decorative band that is either carved into or applied to a surface.

MUNTINS The glazing bar which divides a window or other opening into two or more lights.

Old Orland Historic District Guidelines

PALLADIAN WINDOW A tripartite window opening with a large arched central light and flanking rectangular side lights.

PARAPET A low, solid, protective wall or railing along the edge of a roof or balcony.

RUSTICATION Masonry cut on massive blocks, employed to give a rich and bold texture to an exterior wall.

SIDE LIGHTS Windows flanking a door or other window.

SPINDLE A turned wooden element, often used in screens, stair railings and porch trim.

TRANSOM A window above a door or another window.

Old Orland Historic District Guidelines

VI. SUGGESTED BIBLIOGRAPHY

Beasley, Ellen. *Reviewing New Construction Projects in Historic Areas*. Boston: National Trust for Historic Preservation, 1986.

Haneman, John Theodore. *Pictorial Encyclopedia of Historic Architectural Plans, Details, & Elements*. New York: Dover Publications, 1984.

Harris, Cyril M. *Dictionary of Architecture & Construction*. McGraw-Hill, Inc., 1975.

McAlester, Virginia & Lee. *A Field Guide to American Houses*. New York: Alfred A Knopf, Inc., 1984.

Poppeliers, John C. *What Style is it?* Washington, D.C.: The Preservation Press, 1983.

Rifkind, Carole. *A Field Guide to American Architecture*. New York: The New American Library, Inc., 1980.

The Illinois Historic Preservation Agency recommends the publications on the following pages.

Old Orland Historic District Guidelines



Illinois Historic Preservation Agency

Old State Capitol Springfield, Illinois 62701 (217) 782-4836

Suite 4-900 State of Illinois Center 100 W. Randolph Chicago, IL 60601 (312) 814-1409

TECHNICAL PRESERVATION BIBLIOGRAPHY

Every historic commission should have a basic library of technical preservation publications to assist the commissioners and the public. This library should include selected publications as well as magazine subscriptions. The basic library will cost about \$80 and magazine subscriptions \$40 per year.

National Park Service (NPS) Publications

The Catalog of Historic Preservation Publications, a compilation of all the publications of the National Park Service is available from:

U. S. National Park Service
Preservation Assistance Division-424
P.O. Box 37127
Washington DC 20013-7127

The Secretary of the Interior's Standards for Rehabilitation (rev. 1990) and Guidelines for Rehabilitating Historic Buildings.

The Standard for Rehabilitation were originally published in 1977. They were revised in 1990 as part of the U.S. Department of the Interior regulations (36 CFR Part 67, Historic Preservation Certifications). The Standards pertain to historic buildings of all materials, construction types, sizes, and occupancies and encompass the exterior and interior features of historic buildings. The Standards also encompass related landscape features and the building's site and environment as well as attached, adjacent and related new construction. The Guidelines were prepared to assist in applying the Standards; as such, they are not codified as program requirements. The stock number for the revised Standards and accompanying Guidelines is 024-005-01061-1, 64 pages, \$2.00 per copy with a 25% discount for more than 100 copies. Order from:

Superintendent of Documents
Government Printing Office
Washington DC 20402-9325

Preservation Briefs No. 1 - 22. The technical preservation briefs are a continuing series of pamphlets on a variety of subjects from construction of new additions to repointing of masonry. They are meant to provide detailed information about specific building construction techniques. Preservation Briefs cost \$1.00 each or \$5.00 for the entire set from the Government Printing Office.

Old Orland Historic District Guidelines

Technical Preservation Library
Page 2

Books

The Old House Catalog, 1990. (\$15.95) This is an annual catalog that features "products of enduring quality for home 1750-1940." Published by:

Old House Journal Corp.
435 Ninth St.
Brooklyn NY 11215
(718) 788-1700

All About Old Buildings: The Whole Preservation Catalog. (\$39.95)
Washington DC: The Preservation Press, 1985. This publication is a national directory of preservation organizations and a detailed bibliography of preservation publications cross indexed by subject. Available from:

The Preservation Press
1785 Massachusetts Ave. N.W.
Washington DC 20036

Century of Color: Exterior Decoration for American Buildings 1820/1920 by Roger Moss. This publication contains a sampling of color plates of American houses from period sources. The authenticated paint schemes provide ample evidence of the colorful character of residential design of the 19th and early 20th century. Published by:

The American Life Foundation: Watkins Glenn NY: 1981.

Periodicals:

The Old House Journal, Published bimonthly for \$21 per year with features on residential restoration and rehabilitation. See address above.

Traditional Building: Historical Products for Today's Professionals. This is a bimonthly publication that features building products for preservation and restoration aimed at a professional audience. Subscription rate to professionals in architecture, construction, and preservation is \$ 18 per year. Subscription rate to non-professionals is \$30. Available from:

Historic Trends Corporation
69A Seventh Ave.
Brooklyn NY 11217
(718) 6636-00788

VILLAGE OF ORLAND PARK - HISTORIC BUILDING SURVEY

location
9976 144th St.

district
Old Orland Historic District
 contributing noncontributing

current owner

current name

current function residence

historic name

historic function residence

const. date/source c.1890/field obs.



building type
 commercial residential/single
 institutional residential/multi
 religious other: tool shed

no. stories ① 1/2 ② 1/2 3 1/2 4

style/form National

found't'n material

wall material composition board

roof material asphalt shingles

overall condition
 altered poor
 unaltered fair
 orig. site good
 moved excellent

building character
 unique common

RECOMMENDATIONS

The following items are non-original and are not historically appropriate, restoration to original materials and /or building elements would strengthen the building's integrity:
composition siding
shutters

The following should also be considered:
restore chimney

27-9-203-012
27-9-203-013

building integrity
 high low

survey completed by
A. McGuire & J. Hoerner
survey date: March, 1991

zoning classification
R-4 GENERAL RES. DIST.
PIN number
SEVERAL: SEE ABOVE

VILLAGE OF ORLAND PARK - HISTORIC BUILDING SURVEY

location	9967 144th St.
district	Old Orland Historic District
	<input checked="" type="checkbox"/> contributing <input type="checkbox"/> noncontributing
current owner	Orland Methodist Church
current name	Orland Methodist Church
current function	church
historic name	Orland Methodist Church
historic function	church
const. date/source	1898/plaque



building type	
	<input type="checkbox"/> commercial <input type="checkbox"/> residential/single
	<input type="checkbox"/> institutional <input type="checkbox"/> residential/multi
	<input checked="" type="checkbox"/> religious <input checked="" type="checkbox"/> other: additions
no. stories	1 plus towers
style/form	Shingle
found'n material	concrete block
wall material	wood siding/shingle
roof material	asphalt shingles
overall condition	
	<input checked="" type="checkbox"/> altered <input type="checkbox"/> poor
	<input type="checkbox"/> unaltered <input checked="" type="checkbox"/> fair
	<input type="checkbox"/> orig. site <input type="checkbox"/> good
	<input type="checkbox"/> moved <input type="checkbox"/> excellent
building character	
	<input checked="" type="checkbox"/> unique <input type="checkbox"/> common

RECOMMENDATIONS

The following items are non-original and are not historically appropriate, restoration to original materials and /or building elements would strengthen the building's integrity:
front doors

The following should also be considered:
painting of wood
window repair
restore wood roof shingles on towers, if possible
exterior paint analysis for original colors

The raising of the foundation for the basement addition leaves the structure sitting awkwardly above grade. Landscaping with foundation planting could give the church a visual base.

Alterations include basement in 1919 and front entry in 1942.

This building is listed on the National Register of Historic Places.

SPL. USE ORD. 1661

building integrity	
	<input checked="" type="checkbox"/> high <input type="checkbox"/> low

survey completed by
A. McGuire & J. Hoerner
survey date: March, 1991

zoning classification
R-3 ONE FAMILY RES. DIST.

PIN number
27-9-205-012

(shares p.i.n. with 9955 144th st.)

Old Orland Historic District Guidelines

TABLE OF CONTENTS

I. Introduction

II. District

A. District Boundaries and Description

B. District Development

Building Setbacks and Rhythms

Streetscapes

Lighting

Paving

Landscaping

Site Features

Parking

Circulation

C. Building Uses

III. Existing Buildings

A. Building Components

Windows

Exterior Doors

Porches and Overhangs

Chimneys

Storefronts

Landscaping and Fences

Gutters

Lighting

Exterior Stairs

B. Materials

Roofing

Siding

Trim

Foundations

IV. New Buildings and Additions

A. Site Considerations

Building Setbacks and Rhythms

Landscaping

Site Features

Parking

B. Building Considerations

Height, Proportion, and Scale

Massing

Components

Materials

V. Glossary

VI. Suggested Bibliography

List of Maps

Map No. 1 Old Orland Historic District

Map No. 2 Characteristics: Old Orland Historic District

Map No. 3 Views: Old Orland Historic District

VILLAGE OF ORLAND PARK - HISTORIC BUILDING SURVEY

location 9955 144th St.
district Old Orland Historic District <input checked="" type="checkbox"/> contributing <input type="checkbox"/> noncontributing
current owner Orland Methodist Church
current name Orland Methodist Parsonage
current function parsonage
historic name
historic function residence
const. date/source c.1920/field obs.



building type <input type="checkbox"/> commercial <input checked="" type="checkbox"/> residential/single <input type="checkbox"/> institutional <input type="checkbox"/> residential/multi <input type="checkbox"/> religious <input type="checkbox"/> other _____
no. stories 1 1 1/2 2 1 1/2 3 1 1/2 4
style/form Craftsman
found't'n material concrete block
wall material wood siding
roof material asphalt shingle
overall condition <input checked="" type="checkbox"/> altered <input type="checkbox"/> poor <input type="checkbox"/> unaltered <input type="checkbox"/> fair <input type="checkbox"/> orig. site <input checked="" type="checkbox"/> good <input type="checkbox"/> moved <input type="checkbox"/> excellent
building character <input type="checkbox"/> unique <input checked="" type="checkbox"/> common

RECOMMENDATIONS

The following items are non-original and are not historically appropriate, restoration to original materials and /or building elements would strengthen the building's integrity:
shutters

The following should also be considered:
trim back foundation planting
paint
reconstruct Craftsman detail on remaining front porch

SPL. USE ORD. 1661

building integrity <input checked="" type="checkbox"/> high <input type="checkbox"/> low

survey completed by
A. McGuire & J. Hoerner
survey date: March, 1991

zoning classification
R-3 ONE FAMILY RES. DIST.
PIN number
27-9-205-012

(shares p.i.n. with 9967 144th st)

VILLAGE OF ORLAND PARK - HISTORIC BUILDING SURVEY

location
9952 144th St.

district
Old Orland Historic District

contributing noncontributing

current owner

current name

current function residence

historic name

historic function residence

const. date/source c.1895/field obs.



building type

commercial residential/single

institutional residential/multi

religious other: addn, garage

no. stories 1 1/2 **2** 1/2 3 1/2 4

style/form Queen Anne

found't'n material stone

wall material aluminum siding/wood shingles

roof material asphalt shingles

overall condition

altered poor

unaltered fair

orig. site good

moved excellent

building character

unique common

RECOMMENDATIONS

This building has high integrity. With the exception of aluminum siding, the original materials and building elements appear not to have been altered substantially.

The following should also be considered:
 replace colonial front door
 more appropriate windows in rear addition

27-9-203-020
27-9-203-021

building integrity

high low

survey completed by
A. McGuire & J. Hoerner
survey date: March, 1991

zoning classification
B-2 GENERAL BUS. DIST
PIN number
SEVERAL: SEE ABOVE

VILLAGE OF ORLAND PARK - HISTORIC BUILDING SURVEY

location
9855 144th St.

district
Old Orland Historic District
 contributing noncontributing

current owner

current name

current function residential

historic name

historic function residential

const. date/source c.1885/field obs.



building type
 commercial residential/single
 institutional residential/multi
 religious other: additions

no. stories ① 1/2 ② 1 1/2 3 1/2 4

style/form Folk Victorian

found't'n material concrete block

wall material beaded clapboard

roof material asphalt shingle

overall condition
 altered poor
 unaltered fair
 orig. site good
 moved excellent

building character
 unique common

RECOMMENDATIONS

This building has high integrity. Much of the original materials and building elements have been unaltered. Restoration of a few elements would strengthen the integrity of this fine example within the district:

- restore front window
- remove first floor picture window

The following should also be considered:

- resolve stairs to door on one story wing
- remove awnings on west elevation
- remove siding from porch railings

27-9-211-002
27-9-211-003
27-9-211-004
27-9-211-005
27-9-211-007

building integrity
 high low

survey completed by
A. McGuire & J. Hoerner
survey date: March, 1991

zoning classification
R-3 ONE FAMILY RES. DIST.
 PIN number
SEVERAL: SEE ABOVE

VILLAGE OF ORLAND PARK - HISTORIC BUILDING SURVEY

location
9835 144th St.

district
Old Orland Historic District
 contributing noncontributing

current owner

current name

current function residential

historic name

historic function
commercial/residential

const. date/source
c.1880/field obs.



building type
 commercial residential/single
 institutional residential/multi
 religious other: additions

no. stories 1 1/2 **2** 1 1/2 3 1/2 4

style/form
Italianate Commercial/National

found't'n material parged

wall material aluminum siding

roof material asphalt shingles

overall condition
 altered poor
 unaltered fair
 orig. site good
 moved excellent

building character
 unique common

RECOMMENDATIONS

The following items are non-original and are not historically appropriate, restoration to original materials and /or building elements would strengthen the building's integrity:
aluminum siding
wood windows in original larger size

The following should also be considered:
restore facade

Note: This unusual combination of a Commercial Italianate structure and a National Style residential building is similar to 14320-14324 Beacon. Facade restoration differentiating the two structures would be appropriate.

27-9-212-001
27-9-212-002

building integrity
 high low

survey completed by
A. McGuire & J. Hoerner
survey date: March, 1991

zoning classification
R-3 ONE FAMILY RES. DIST
PIN number
SEVERAL: SEE ABOVE

VILLAGE OF ORLAND PARK - HISTORIC BUILDING SURVEY

location
9833 144th Pl.

district
Old Orland Historic District
 contributing noncontributing

current owner

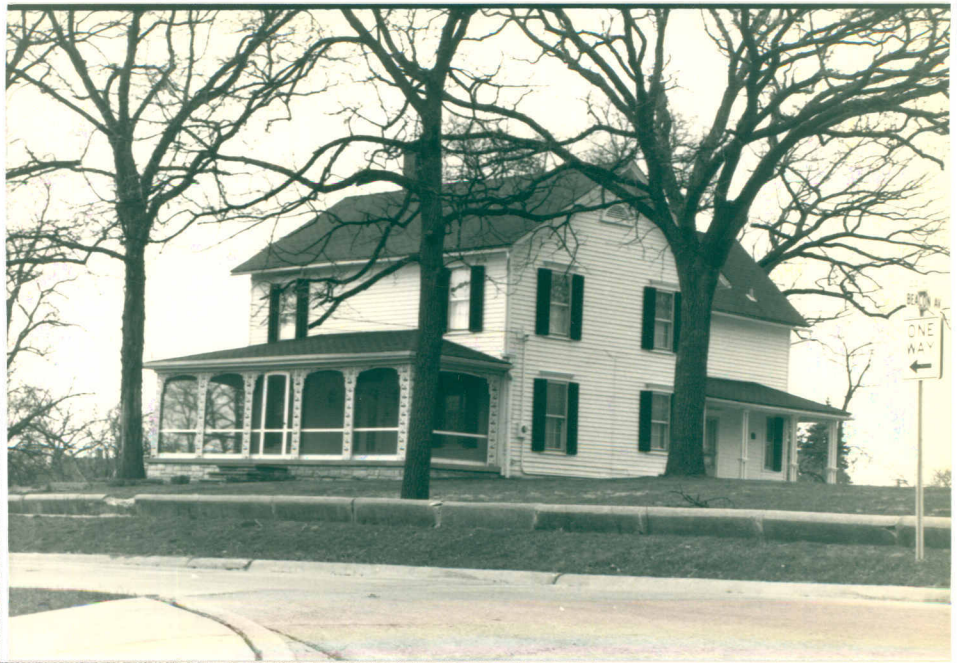
current name

current function residence

historic name
John Humphrey Residence

historic function residence

const. date/source
c.1880/prev. svy.



building type
 commercial residential/single
 institutional residential/multi
 religious other: garage

no. stories 1 1/2 (2) 1/2 3 1/2 4

style/form National

found't'n material stone

wall material wood siding

roof material asphalt shingle

overall condition
 altered poor
 unaltered fair
 orig. site good
 moved excellent

building character
 unique common

RECOMMENDATIONS

The following items are non-original and are not historically appropriate, restoration to original materials and /or building elements would strengthen the building's integrity:
iron trellis porch posts
side storm door and lighting

The following should also be considered:
remove shutters on side bay
repair retaining wall

27-9-216-017
27-9-216-018

building integrity
 high low

survey completed by
A. McGuire & J. Hoerner
survey date: March, 1991

zoning classification
R-3 ONE FAMILY RES. DIST.
PIN number
SEVERAL: SEE ABOVE

VILLAGE OF ORLAND PARK - HISTORIC BUILDING SURVEY

location
West Ave. S of 143rd St.

district
Old Orland Historic District
 contributing noncontributing

current owner
Presbyterian Church

current name

current function

historic name
Christ Lutheran Church School

historic function
church school

const. date/source
1922/prev. svy.



building type
 commercial residential/single
 institutional residential/multi
 religious other : additions

no. stories: 1 1/2 2 1/2 3 1/2 4

style/form
National

found't'n material
concrete block

wall material
wood siding

roof material
asphalt shingles

overall condition
 altered poor
 unaltered fair
 orig. site good
 moved excellent

building character
 unique common

RECOMMENDATIONS

The following items are non-original and are not historically appropriate, restoration to original materials and /or building elements would strengthen the building's integrity:
porch railing

The following should also be considered:
redesign porch
open up front door sidelights

building integrity
 high low

1331

SPL. USE ORD.

survey completed by
A. McGuire & J. Hoerner
survey date: March, 1991

zoning classification
R-4 GENERAL RES. DIST.
PIN number
27-9-200-015

VILLAGE OF ORLAND PARK - HISTORIC BUILDING SURVEY

location SE Cor. 143rd St. & West Ave.
district Old Orland Historic District <input checked="" type="checkbox"/> contributing <input type="checkbox"/> noncontributing
current owner Presbyterian Church of Orland Park
current name Presbyterian Church of Orland Park
current function church
historic name Christ Lutheran Church
historic function church
const. date/source 1898/prev. svy.



building type <input type="checkbox"/> commercial <input type="checkbox"/> residential/single <input type="checkbox"/> institutional <input type="checkbox"/> residential/multi <input checked="" type="checkbox"/> religious <input checked="" type="checkbox"/> other: additions
no. stories 1 plus tower
style/form Gothic Revival
found't'n material
wall material aluminum siding
roof material asphalt shingle
overall condition <input checked="" type="checkbox"/> altered <input type="checkbox"/> poor <input type="checkbox"/> unaltered <input type="checkbox"/> fair <input type="checkbox"/> orig. site <input checked="" type="checkbox"/> good <input type="checkbox"/> moved <input type="checkbox"/> excellent
building character <input type="checkbox"/> unique <input checked="" type="checkbox"/> common

RECOMMENDATIONS

The following items are non-original and are not historically appropriate, restoration to original materials and /or building elements would strengthen the building's integrity:
aluminum siding
front door

The following should also be considered:
screen the addition; treat as two buildings

27-9-200-001
27-9-200-002
27-9-200-003

building integrity <input type="checkbox"/> high <input checked="" type="checkbox"/> low

survey completed by
A. McGuire & J. Hoerner
survey date: March, 1991

zoning classification
R-4 GENERAL RES. DIST.
PIN number
SEVERAL: SEE ABOVE

VILLAGE OF ORLAND PARK - HISTORIC BUILDING SURVEY

location
9925 143rd St.

district
Old Orland Historic District
 contributing noncontributing

current owner

current name
Twice is Nice

current function
resale shop

historic name

historic function
residence

const. date/source
c.1885/field obs.



building type
 commercial residential/single
 institutional residential/multi
 religious other: ext. stairs

no. stories 1 1 1/2 **2** 1/2 3 1/2 4

style/form
Folk Victorian

found't'n material
parged concrete

wall material
composition siding

roof material
asphalt & wood shingles

overall condition
 altered poor
 unaltered fair
 orig. site good
 moved excellent

building character
 unique common

RECOMMENDATIONS

The following items are non-original and are not historically appropriate, restoration to original materials and /or building elements would strengthen the building's integrity:

- composition siding
- front storm door
- shutters

The following should also be considered:

- install more appropriate signage
- install consistent roofing materials
- redesign side stair to more appropriate scale & detail
- restore brick chimneys
- screen parking
- install more appropriate fence

27-9-201-001
27-9-201-002
27-9-201-003

building integrity
 high low

survey completed by
A. McGuire & J. Hoerner
survey date: March, 1991

zoning classification
B-2 GENERAL BUS. DIST.
PIN number
SEVERAL: SEE ABOVE

VILLAGE OF ORLAND PARK - HISTORIC BUILDING SURVEY

location
9875 143rd St.

district
Old Orland Historic District
 contributing noncontributing

current owner

current name Paddy B's

current function restaurant

historic name

historic function
 commercial/residential

const. date/source
 c.1920/field obs.



building type
 commercial residential/single
 institutional residential/multi
 religious other _____

no. stories 1 1 1/2 2 1 1/2 3 1 1/2 4

style/form Commercial

found't'n material stone

wall material brick/stone

roof material flat/built-up

overall condition
 altered poor
 unaltered fair
 orig. site good
 moved excellent

building character
 unique common

RECOMMENDATIONS

The following items are non-original and are not historically appropriate, restoration to original materials and /or building elements would strengthen the building's integrity:

- wood siding at first floor
- first floor north and second floor west projecting shake roofs
- neon sign on building parapet

The following should also be considered:

- screen mechanical equipment and dumpster area
- restore brick and windows at first floor
- repoint parapet brick
- retain original wood windows
- if infilled window openings cannot be reopened, then paint out the wood infill to match the brick

The projecting sign for the restaurant is considered old enough to be retained.

SPL. USE ORD. 1347

building integrity
 high low

survey completed by A. McGuire & J. Hoerner survey date: March, 1991	zoning classification B-2 GENERAL BUS. DIST. PIN number 27-9-202-002
--	---

VILLAGE OF ORLAND PARK - HISTORIC BUILDING SURVEY

location 9917 143rd St
district Old Orland Historic District <input checked="" type="checkbox"/> contributing <input type="checkbox"/> noncontributing
current owner
current names: Allstate Insurance, Orland Hearing Ctr., Podiatry Ctr.
current function offices
historic name
historic function commercial
const. date/source 1937/prev. svy.
building type <input checked="" type="checkbox"/> commercial <input type="checkbox"/> residential/single <input type="checkbox"/> institutional <input type="checkbox"/> residential/multi <input type="checkbox"/> religious <input checked="" type="checkbox"/> other: addition
no. stories ① 1/2 2 1/2 3 1/2 4
style/form Tudor Revival
found't'n material
wall materials brick, stucco, wood
roof material asphalt shingles
overall condition <input checked="" type="checkbox"/> altered <input type="checkbox"/> poor <input type="checkbox"/> unaltered <input type="checkbox"/> fair <input type="checkbox"/> orig. site <input checked="" type="checkbox"/> good <input type="checkbox"/> moved <input type="checkbox"/> excellent
building character <input type="checkbox"/> unique <input checked="" type="checkbox"/> common
building integrity <input type="checkbox"/> high <input checked="" type="checkbox"/> low



RECOMMENDATIONS

The following items are non-original and are not historically appropriate, restoration to original materials and /or building elements would strengthen the building's integrity:
 facade and roof at wood siding
 doors in arched openings

The following should also be considered:
 install more appropriate signage
 paint stucco in store fronts dark or use stucco with half timbering
 install more appropriate landscaping

Note: The exterior lights at the entrances appear to be original and effort should be made to retain.

27-9-201-004
27-9-201-005

survey completed by
 A. McGuire & J. Hoerner
 survey date: March, 1991

zoning classification
B-2 GENERAL BUS. DIST.
 PIN number
SEVERAL: SEE ABOVE

Old Orland Historic District Guidelines

I. INTRODUCTION

The Old Orland Historic District, surrounded by the rapidly growing Village of Orland Park, retains the historic core of both the commercial and residential buildings of the original residents of the area.

As commissioned by the Village of Orland Park and the Historic Preservation Review Commission, Anne McGuire, Architect in conjunction with Linda F. Grubb and Associates, Architects surveyed this historic core area, defined the boundaries of the district, and identified those buildings found to be contributing to the district. The survey was completed by Anne McGuire and Joseph Hoerner.

Based on a review of the architecture of the contributing structures, these guidelines were developed. They are intended to provide direction for the rehabilitation of existing construction and the construction of new buildings or additions within the district. The guidelines also provide direction to the Village of Orland Park for the public areas of the district.

The guidelines are intended to be used as part of an ongoing educational process which will encourage residents to protect and enhance these Orland Park landmarks. Careful rehabilitation and appropriate new construction will strengthen the district and enhance its vitality.

There are a number of individual historic buildings as well which maintain architectural integrity but are scattered outside of the historic district. These structures should be identified and rehabilitation work to these buildings should follow the same standards as those buildings within the district.

VILLAGE OF ORLAND PARK - HISTORIC BUILDING SURVEY

location
9953 143rd St.

district
Old Orland Historic District
 contributing noncontributing

current owner

current name
Innisfree Shop

current function
gift shop

historic name

historic function
residence

const. date/source
c.1890/field obs.



building type
 commercial residential/single
 institutional residential/multi
 religious other:

no. stories: ① 1 1/2 2 1/2 3 1/2 4

style/form
Folk Victorian

found't'n material
concrete block

wall material
wood siding & shingle

roof material
asphalt shingle

overall condition
 altered poor
 unaltered fair
 orig. site good
 moved excellent

building character
 unique common

RECOMMENDATIONS

This building has high integrity. The original materials and building elements have been unaltered. The following maintenance would help protect this fine example within the district.

- paint exterior
- repair/replace gutters

The following should also be considered:

- install more appropriate signage
- redesign porch ballustrade
- landscape

building integrity
 high low

survey completed by
A. McGuire & J. Hoerner
survey date: March, 1991

report identification
B-2 GENERAL BUS. DIST.
PIN number
27-9-200-017

VILLAGE OF ORLAND PARK - HISTORIC BUILDING SURVEY

location 9933 143 rd Pl.
district Old Orland Historic District <input checked="" type="checkbox"/> contributing <input type="checkbox"/> noncontributing
current owner
current name
current function residence
historic name
historic function residence
const. date/source c.1895/field obs.



building type <input type="checkbox"/> commercial <input type="checkbox"/> residential/single <input type="checkbox"/> institutional <input checked="" type="checkbox"/> residential/multi <input type="checkbox"/> religious <input checked="" type="checkbox"/> other: additions
no. stories: ① 1/2 ② 1/2 3 1/2 4
style/form National
found't'n material stone
wall material aluminum siding/compostion bd.
roof material asphalt shingle
overall condition <input checked="" type="checkbox"/> altered <input type="checkbox"/> poor <input type="checkbox"/> unaltered <input type="checkbox"/> fair <input type="checkbox"/> orig. site <input checked="" type="checkbox"/> good <input type="checkbox"/> moved <input type="checkbox"/> excellent
building character <input type="checkbox"/> unique <input checked="" type="checkbox"/> common

RECOMMENDATIONS

The following items are non-original and are not historically appropriate, restoration to original materials and /or building elements would strengthen the building's integrity:

- siding and shutters
- wrought iron porch rails

The following should also be considered:

- repoint/repair chimney
- install appropriate doors & windows in addition

27-9-204-001
27-9-204-008
27-9-204-009
27-9-204-010

building integrity <input type="checkbox"/> high <input checked="" type="checkbox"/> low

survey completed by
A. McGuire & J. Hoerner
survey date: March, 1991

zoning classification
B-2 GENERAL BUS. DIST.
PIN number
SEVERAL: SEE ABOVE

VILLAGE OF ORLAND PARK - HISTORIC BUILDING SURVEY

location
14314 Beacon Ave.

district
Old Orland Historic District

contributing noncontributing

current owner

current name
Beacon Hill Antiques/Country Cupbd.

current function antique shops

historic name

historic function residence

const. date/source c.1915/field obs.



building type

commercial residential/single

institutional residential/multi

religious other _____

no. stories 1 1/2 **2** 1/2 3 1/2 4

style/form National

found't'n material

wall material
aluminum, wood board & batten

roof material asphalt shingles

overall condition

altered poor

unaltered fair

orig. site good

moved excellent

building character

unique common

RECOMMENDATIONS

The following items are non-original and are not historically appropriate, restoration to original materials and /or building elements would strengthen the building's integrity:

- mansard roof at storefront
- aluminum siding
- casement windows
- storefront windows
- HID lighting mounted on the building
- remove outdoor carpet from stairs

The following should also be considered:

- install more appropriate signage
- treat sidewalk grade change more appropriately
- redesign storefront

27-9-207-009
27-9-207-010

building integrity

high low

survey completed by
A. McGuire & J. Hoerner
survey date: March, 1991

zoning classification
B-2 GENERAL BUS. DIST.
PIN number
SEVERAL: SEE ABOVE

VILLAGE OF ORLAND PARK - HISTORIC BUILDING SURVEY

location
14315 Beacon Ave.

district
Old Orland Historic District

contributing noncontributing

current owner

current name
Orland Pk. Chiropractor

current function
office

historic name

historic function
residence

const. date/source
c.1890/field obs.



building type

commercial residential/single
 institutional residential/multi
 religious other _____

no. stories 1 1 1/2 **2** 1/2 3 1/2 4

style/form Folk Victorian

found't'n material

wall material aluminum siding

roof material asphalt shingles

overall condition

altered poor
 unaltered fair
 orig. site good
 moved excellent

building character

unique common

RECOMMENDATIONS

The following items are non-original and are not historically appropriate, restoration to original materials and /or building elements would strengthen the building's integrity:

- aluminum siding
- front door surround
- front picture window

The following should also be considered:

- repair to wood windows and trim
- expose foundation
- include transom in front picture window opening

27-9-208-005
27-9-208-006

building integrity

high low

survey completed by
A. McGuire & J. Hoerner
survey date: March, 1991

zoning classification
B-2 GENERAL BUS. DIST.
PIN number
SEVERAL: SEE ABOVE

VILLAGE OF ORLAND PARK - HISTORIC BUILDING SURVEY

location
14316 Beacon Ave.

district
Old Orland Historic District
 contributing noncontributing

current owner

current name
Bookshelf/Old Bank Antiques

current function
book shop/antique shop

historic name Orland State Bank

historic function bank

const. date/source 1920/keystone



building type
 commercial residential/single
 institutional residential/multi
 religious other: additions

no. stories 1 1 1/2 **2** 1 1/2 3 1 1/2 4

style/form Commercial

found't'n material concrete

wall material brick

roof material flat/built-up

overall condition
 altered poor
 unaltered fair
 orig. site good
 moved excellent

building character
 unique common

RECOMMENDATIONS

The following items are non-original and are not historically appropriate, restoration to original materials and /or building elements would strengthen the building's integrity:
carved wood door

The following should also be considered:
repoint brick at parapet area
repair stone lintels and stone coping where required
install more appropriate signage
paint stone to match natural stone color

- 27-9-207-011
- 27-9-207-012
- 27-9-207-013
- 27-9-207-014
- 27-9-207-015

building integrity
 high low

survey completed by
A. McGuire & J. Hoerner
survey date: March, 1991

zoning classification
B-2 GENERAL BUS. DIST.
PIN number
SEVERAL: SEE ABOVE

VILLAGE OF ORLAND PARK - HISTORIC BUILDING SURVEY

location 14320-24 Beacon Ave.
district Old Orland Historic District <input checked="" type="checkbox"/> contributing <input type="checkbox"/> noncontributing
current owner
current name Emporium/Abigail's
current function antique shops
historic name
historic function commercial/residential
const. date/source c.1880/field obs.
building type <input checked="" type="checkbox"/> commercial <input type="checkbox"/> residential/single <input type="checkbox"/> institutional <input type="checkbox"/> residential/multi <input type="checkbox"/> religious <input checked="" type="checkbox"/> other: ext. stair
no. stories 1 1/2 <input checked="" type="checkbox"/> 1 1/2 3 1/2 4
style/form Commercial Italianate/National
found't'n material
wall material aluminum siding
roof material asphalt shingles
overall condition <input checked="" type="checkbox"/> altered <input type="checkbox"/> poor <input type="checkbox"/> unaltered <input checked="" type="checkbox"/> fair <input type="checkbox"/> orig. site <input type="checkbox"/> good <input type="checkbox"/> moved <input type="checkbox"/> excellent
building character <input type="checkbox"/> unique <input checked="" type="checkbox"/> common
building integrity <input type="checkbox"/> high <input checked="" type="checkbox"/> low



RECOMMENDATIONS

The following items are non-original and are not historically appropriate, restoration to original materials and /or building elements would strengthen the building's integrity:

- aluminum siding
- aluminum sliding windows
- exterior stair to second floor with roof above

The following should also be considered:

- install more appropriate signage
- restore facade
- redesign exterior stair to second floor and remove roof above
- remove flower boxes
- remove canvas awnings
- remove HID lighting and install more appropriate lighting

Note: This unusual combination of a Commercial Italianate structure and a National style residential building is similar to 9835 144th St. Facade restoration differentiating the two structures would be appropriate.

survey completed by
 A. McGuire & J. Hoerner
 survey date: March, 1991

zoning classification
B-2 GENERAL BUS. DIST.
 PIN number
27-9-207-022

VILLAGE OF ORLAND PARK - HISTORIC BUILDING SURVEY

location
14329 Beacon Ave.

district
Old Orland Historic District

contributing noncontributing

current owner

current name

current function
residence

historic name

historic function
residence

const. date/source
c.1890/field obs.



building type

commercial residential/single

institutional residential/multi

religious other _____

no. stories 1 1/2 **2** 1/2 3 1/2 4

style/form
National

found't'n material
concrete

wall material
wood clapboard

roof material
asphalt shingles

overall condition

altered poor

unaltered fair

orig. site good

moved excellent

building character

unique common

RECOMMENDATIONS

The following items are non-original and are not historically appropriate, restoration to original materials and /or building elements would strengthen the building's integrity:

- wrought iron railings
- front picture window

The following should also be considered:

- paint exterior
- repair/replace roofing

27-9-208-011
27-9-208-012
27-9-208-013

building integrity

high low

survey completed by
A. McGuire & J. Hoerner
survey date: March, 1991

zoning classification
R-3 ONE FAMILY RES. DIST.
PIN number
SEVERAL: SEE ABOVE

VILLAGE OF ORLAND PARK - HISTORIC BUILDING SURVEY

location
14330 Beacon Ave.

district
Old Orland Historic District

contributing noncontributing

current owner

current name
Baltimore Basket Collection

current function commercial

historic name

historic function residence

const. date/source c.1890/field obs.



building type

commercial residential/single

institutional residential/multi

religious other: garage

no. stories 1 1/2 2 1/2 3 1/2 4

style/form Folk Victorian

found't'n material concrete block

wall material wood clapbd/shingle

roof material asphalt shingles

overall condition

altered poor

unaltered fair

orig. site good

moved excellent

building character

unique common

RECOMMENDATIONS

The following items are non-original and are not historically appropriate, restoration to original materials and /or building elements would strengthen the building's integrity:

- porch and stair railings
- shutters
- front door

The following should also be considered:

- more appropriate signage
- repair/replace roofing

building integrity

high low

survey completed by
A. McGuire & J. Hoerner
survey date: March, 1991

zoning classification
B-2 GENERAL BUS. DIST.
PIN number
27-9-207-019

VILLAGE OF ORLAND PARK - HISTORIC BUILDING SURVEY

location
14339 Beacon Ave.

district
Old Orland Historic District

contributing noncontributing

current owner

current name

current function residence

historic name

historic function residence

const. date/source
c.1885/field obs.



building type

commercial residential/single

institutional residential/multi

religious other: garage

no. stories 1 1/2 2 1/2 3 1/2 4

style/form Folk Victorian

found't'n material

wall material wood clapbd/shingles

roof material asphalt shingles

overall condition

altered poor

unaltered fair

orig. site good

moved excellent

building character

unique common

RECOMMENDATIONS

This building has high integrity. The original materials and building elements have been unaltered. The following maintenance would help protect this fine example within the district:

- repair and paint exterior
- repair/replace roof
- repair foundation

27-9-208-014
27-9-208-015
27-9-208-016

building integrity

high low

survey completed by
A. McGuire & J. Hoerner
survey date: March, 1991

zoning classification
R-3 ONE FAMILY RES. DIST.

PIN number
SEVERAL: SEE ABOVE

VILLAGE OF ORLAND PARK - HISTORIC BUILDING SURVEY

location
14401 Beacon Ave.

district
Old Orland Historic District
 contributing noncontributing

current owner

current name

current function
residence

historic name

historic function
residence

const. date/source
c.1920/field obs.



building type
 commercial residential/single
 institutional residential/multi
 religious other _____

no. stories 1 1/2 2 1/2 3 1/2 4

style/form
Craftsman

found't'n material
brick

wall material
wood clapboard

roof material
asphalt shingles

overall condition
 altered poor
 unaltered fair
 orig. site good
 moved excellent

building character
 unique common

RECOMMENDATIONS

The following items are non-original and are not historically appropriate, restoration to original materials and /or building elements would strengthen the building's integrity:
front door canopy
iron railings

The following should also be considered:

reopen windows
install wood railing at front steps

27-9-208-022
27-9-208-023
27-9-208-024

building integrity
 high low

survey completed by
A. McGuire & J. Hoerner
survey date: March, 1991

zoning classification
R-3 ONE FAMILY RES. DIST.
PIN number
SEVERAL: SEE ABOVE

Old Orland Historic District Guidelines

II. DISTRICT

A. District Boundaries and Description

The Old Orland Historic District comprises an irregularly shaped area bounded approximately by 143rd Street on the north, the rear lot lines of the properties along the east side of Beacon Street on the east, the rear lot lines of the properties along the south side of 144th Place, and West Avenue on the west. (See Map No. 1). These boundaries encompass the area that retains the highest number of contributing structures and streetscapes which remain compatible with the commercial core, the focus of the historic district. The commercial core comprises two areas, separated by the railroad tracks, along 143rd Street, Union Street, and Beacon Avenue.

The high traffic thoroughfares found on 143rd Street on the north, and West Avenue on the west, impose physical barriers upon the district. A commuter railroad track, including a spur, bisects the district from the southwest to the northeast, dividing not only the district but also the commercial area within. (See Map No. 2.)

Contributing structures within the Old Orland Historic District are primarily modest National, Folk Victorian, Commercial and Commercial Italianate buildings with isolated examples of Craftsman, Queen Anne, Gothic and Tudor Revival styles interspersed. Uses throughout the district are a mix of commercial, residential and religious. The streetscapes along 143rd Street and the northern portion of Beacon Avenue are commercial with inappropriate landscaping and much visual clutter resulting from overhead utility wires and poles, inappropriate signage, exterior stairways to upper floors, and unscreened parking. There are gaps in the integrity of the streetscape throughout the district and areas in which landscaping needs to be enhanced. (See Map No. 3 and Photographs.)

VILLAGE OF ORLAND PARK - HISTORIC BUILDING SURVEY

location
14403 Beacon Ave.

district
Old Orland Historic District
 contributing noncontributing

current owner

current name

current function residence

historic name

historic function residence

const. date/source c.1910/field obs.



building type
 commercial residential/single
 institutional residential/multi
 religious other: garage

no. stories 1 1/2 2 1/2 3 1/2 4

style/form National

found't'n material concrete

wall material aluminum siding

roof material asphalt shingles

overall condition
 altered poor
 unaltered fair
 orig. site good
 moved excellent

building character
 unique common

RECOMMENDATIONS

This house has been extensively remodeled and is well maintained. The following items are non-original and are not historically appropriate, restoration to original materials and /or building elements would strengthen the building's integrity:

front stoop with railings
front porch enclosure
side picture window with casements

27-9-208-020
27-9-208-021

building integrity
 high low

survey completed by
A. McGuire & J. Hoerner
survey date: March, 1991

zoning classification
R-3 ONE FAMILY RES. DIST.
PIN number
SEVERAL: SEE ABOVE

VILLAGE OF ORLAND PARK - HISTORIC BUILDING SURVEY

location
14306 Union Avenue

district
Old Orland Historic District
 contributing noncontributing

current owner

current name
Ji-Lyn's Flowers

current function
florist shop

historic name
Orland Park Hotel

historic function
commercial/residential

const. date/source
c.1880/field obs.



building type
 commercial residential/single
 institutional residential/multi
 religious other: addition

no. stories 1 1 1/2 **2** 1 1/2 3 1 1/2 4

style/form
Commercial Italianate

found't'n material brick

wall material aluminum siding

roof material asphalt shingles

overall condition
 altered poor
 unaltered fair
 orig. site good
 moved excellent

building character
 unique common

RECOMMENDATIONS

The following items are non-original and are not historically appropriate, restoration to original materials and /or building elements would strengthen the building's integrity:
 aluminum and non-original wood siding

The following should also be considered:
 install more appropriate signage
 redesign non-original storefronts
 relocate mailboxes
 repoint chimneys
 repair roof
 screen addition

- 27-9-201-015**
- 27-9-201-016**
- 27-9-201-017**
- 27-9-201-018**

building integrity
 high low

survey completed by
A. McGuire & J. Hoerner
survey date: March, 1991

zoning classification
B-2 GENERAL BUS. DIST.
 PIN number
SEVERAL: SEE ABOVE

VILLAGE OF ORLAND PARK - HISTORIC BUILDING SURVEY

location
14314 Union Avenue

district
Old Orland Historic District

contributing noncontributing

current owner

current name General Store

current function antique shop

historic name

historic function
commercial/residential

const. date/source
c.1880/field obs.



building type

commercial residential/single

institutional residential/multi

religious other: additions

no. stories 1 1/2 **2** 1/2 3 1/2 4

style/form
Commercial Italianate/National

found't'n material brick

wall material aluminum siding

roof material asphalt shingles

overall condition

altered poor

unaltered fair

orig. site good

moved excellent

building character

unique common

RECOMMENDATIONS

The following items are non-original and are not historically appropriate, restoration to original materials and /or building elements would strengthen the building's integrity:
aluminum siding (this siding is good however for scale and color)

The following should also be considered:
appropriate entrance landscaping & steps with rails
remove site lighting from the building, mount more appropriate on the site.
relocate second floor air conditioner to secondary facade

The building has high integrity. Effort should be made to retain the storefront and sign.

27-9-201-019
27-9-201-020
27-9-201-021
27-9-201-022

building integrity

high low

survey completed by
A. McGuire & J. Hoerner
survey date: March, 1991

zoning classification
B-2 GENERAL BUS. DIST.
PIN number
SEVERAL: SEE ABOVE

VILLAGE OF ORLAND PARK - HISTORIC BUILDING SURVEY

location
9911-9919 143rd Pl.

district
Old Orland Historic District
 contributing noncontributing

current owner

current name
Cracker Barrel Antiques

current function antique shop

historic name

historic function commercial

const. date/source c.1885/field obs.



building type
 commercial residential/single
 institutional residential/multi
 religious other: additions

no. stories ① 1/2 ② 1 1/2 3 1/2 4

style/form Commercial Italianate

found't'n material brick/conc. block.

wall material aluminum siding

roof material flat/built-up

overall condition
 altered poor
 unaltered fair
 orig. site good
 moved excellent

building character
 unique common

RECOMMENDATIONS

The following items are non-original and are not historically appropriate, restoration to original materials and /or building elements would strengthen the building's integrity:
aluminum siding
shutters

The following should also be considered:
treat buildings separately
restore facade including cornice brackets
remove obscuring tree
replace windows
redesign porch
install more appropriate signage

27-9-204-004
27-9-204-005
27-9-204-006
27-9-204-007

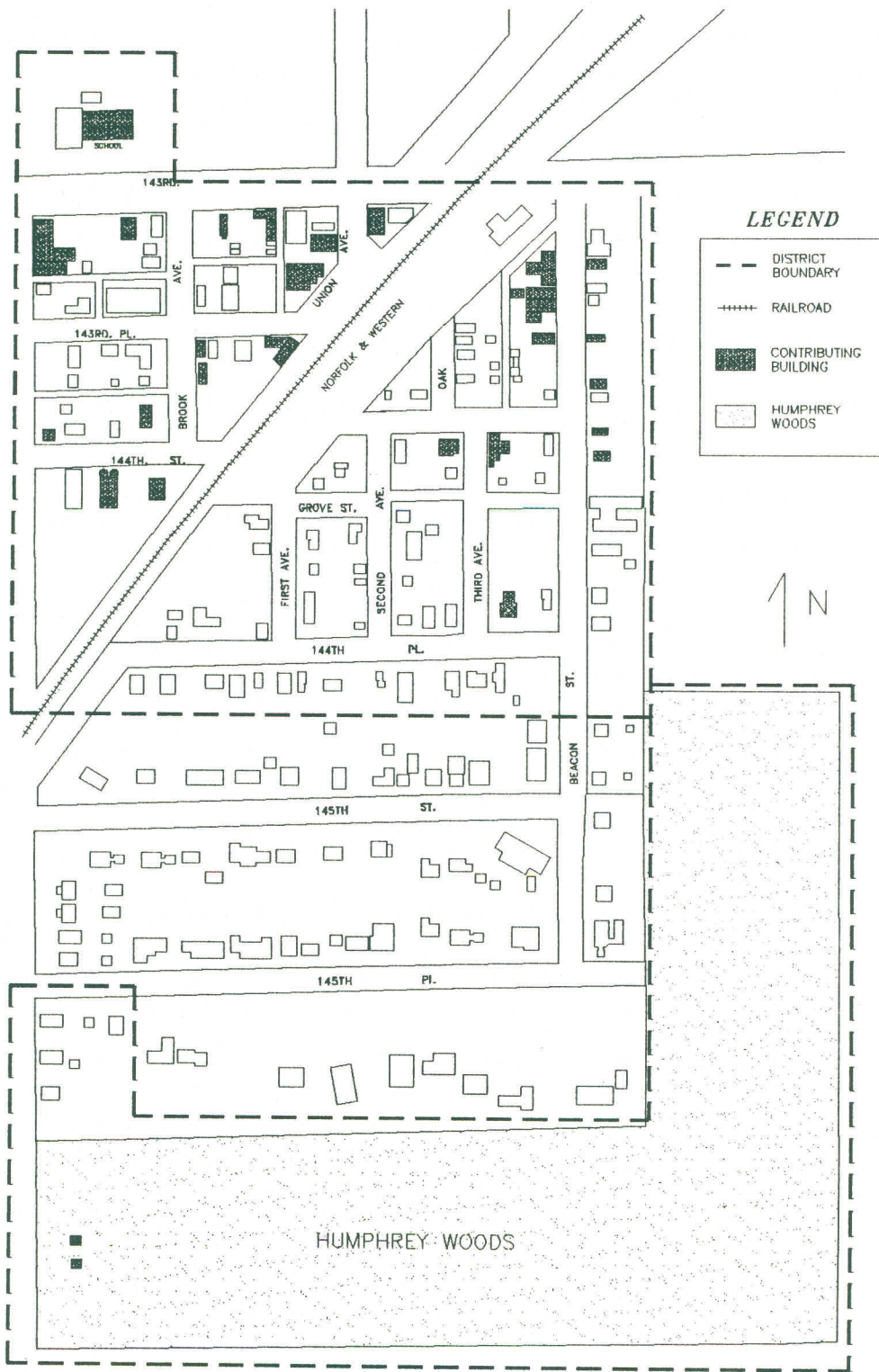
building integrity
 high low

survey completed by
A. McGuire & J. Hoerner
survey date: March, 1991

zoning classification
B-2 GENERAL BUS. DIST.
PIN number
SEVERAL: SEE ABOVE

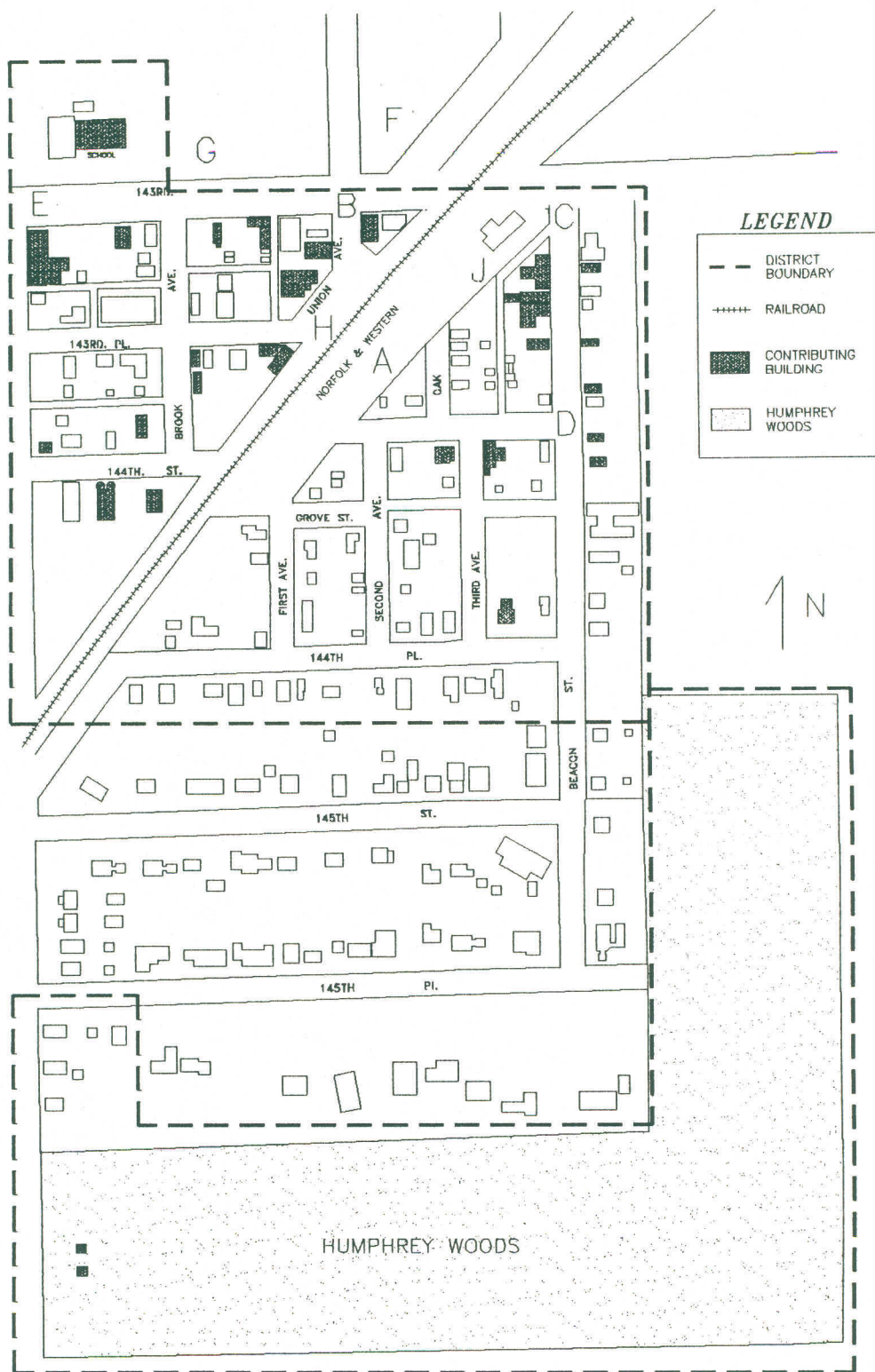
Old Orland Historic District

MAP NUMBER 1



Old Orland Historic District

MAP NUMBER 2



Old Orland Historic District

MAP NUMBER 3

