



# *Community Profile*

*Americans are flocking to places that offer big-city opportunity and amenities - with a lot more green space and a lot less stress. When it comes to a place to live and raise a family, most Americans want two things: the opportunity for themselves and their children to prosper, and a quality of life that lets them enjoy the fruits of their work....*

*(Money Magazine, 2006)*

Located just 25 miles southwest of downtown Chicago with Metra train access to the city, Orland Park provides big-city opportunity and the comforts and amenities of a suburban community. From the setting amidst lush forest preserves to the many preserved green spaces and parks within the Village, from the shopping and restaurant opportunities to the great schools, Orland Park is a place to live and prosper.

Orland Park is a safe, upscale suburb that draws new residents and visitors with its many strengths and amenities, and keeps successive generations of families around for the same reasons. In 2006 and 2008, the Village of Orland Park was ranked by Money Magazine as one of America's Top 100 Best Places to Live.

Nevertheless, the Village cannot take this quality of life for granted, and as the community changes and evolves, Orland Park must continue to build upon its success while responding to market trends and demographic changes in order to maintain the high quality of life that keeps the community strong.

*Old Orland Single Family Home, Orland Park*

Replace with  
Regional  
Context  
Map





# Our Location & Region

## Regional Context

Orland Park is located in the Chicago metropolitan area. This metropolis of over 9 million people lies along the southwest shore of Lake Michigan and stretches from Wisconsin through northeast Illinois to Indiana. Its strong diverse economy and educated international population support world-class universities, research laboratories and Fortune 500 corporate headquarters. The Chicago area offers outstanding cultural opportunities with unrivaled architecture, theater, music and museums. Recreational offerings include beaches, numerous forest preserves, bike trails, many rivers and lakes, and famous professional sports teams. An extensive network of train lines and bus routes serves the region, as well as a grid of highways, and two international airports.

## Orland Park Setting: Chicago Southland

Orland Park's location in the southwest suburbs allows for convenient access to all that the Chicago region offers. Within the Village are three commuter train stations to downtown Chicago as well as a road system connected to nearby interstate highways. Orland Park is the regional commercial center for the area with an effective trade area of over 840,000 people.

The larger south suburban region, generally south of the I-55 Stevenson Expressway, provides a lower cost of housing relative to other metropolitan locations, a good transportation network, a diverse population and attractive recreational amenities. Over the past 35 years, Orland Park has attracted successful businesses and individuals to invest in the community with substantial new commercial development and significant residential growth.



*Skyline, Chicago. (CAA, 2010)*

*Metropolitan Chicago is one of the world's great economic centers, but we cannot take quality of life for granted. The region needs to implement its comprehensive plan to keep our communities and economy strong.*

*(CMAP, 2010a)*



*Calumet Sag Trail. (FPDCC, 2013)*



*Metra Southwest Line, Orland Park. (Webmeier, 2013)*

Replace with  
Planning  
Boundary  
Map





## Orland Park Boundary and Planning Area

Orland Park's planning area extends north to south from 131<sup>st</sup> Street seven miles south to Interstate 80, and west to east from Will-Cook Road five miles east past Harlem Avenue, excluding Tinley Park and Orland Hills. The planning area encompasses over 17,000 acres and 26 square miles. The Comprehensive Plan addresses the planning area shown on the map, including all Village incorporated land plus unincorporated pockets in the general vicinity and as defined by boundary agreements with neighboring municipalities.

## CMAP GO TO 2040 Plan

The primary guiding regional planning document is the GO TO 2040 Plan produced by Chicago Metropolitan Agency for Planning (CMAP). According to GO TO 2040, the primary challenges facing the region include the need for sustainable growth that conserves resources and improves livability, education and workforce development, responsive and efficient governance, and improvements to the regions transportation system. Orland Park's Comprehensive Plan reflects similar priorities. Each chapter in the Plan explains the Orland Park connection to GO TO 2040 recommendations.

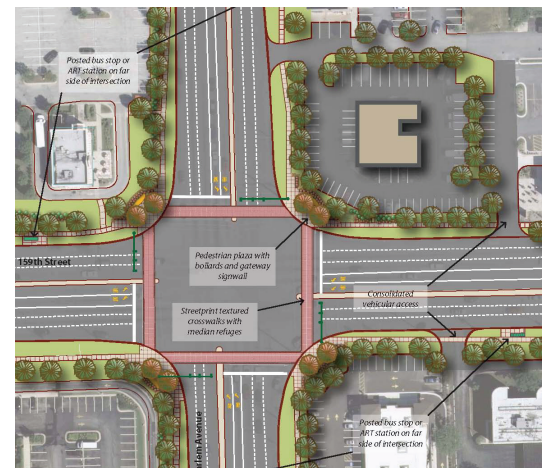
## Relevant Plans

The Comprehensive Plan sets the big picture and long term vision for Orland Park. However there are many other planning documents, from both local and regional sources, that guide and influence planning decisions in the Village, including but not limited to:

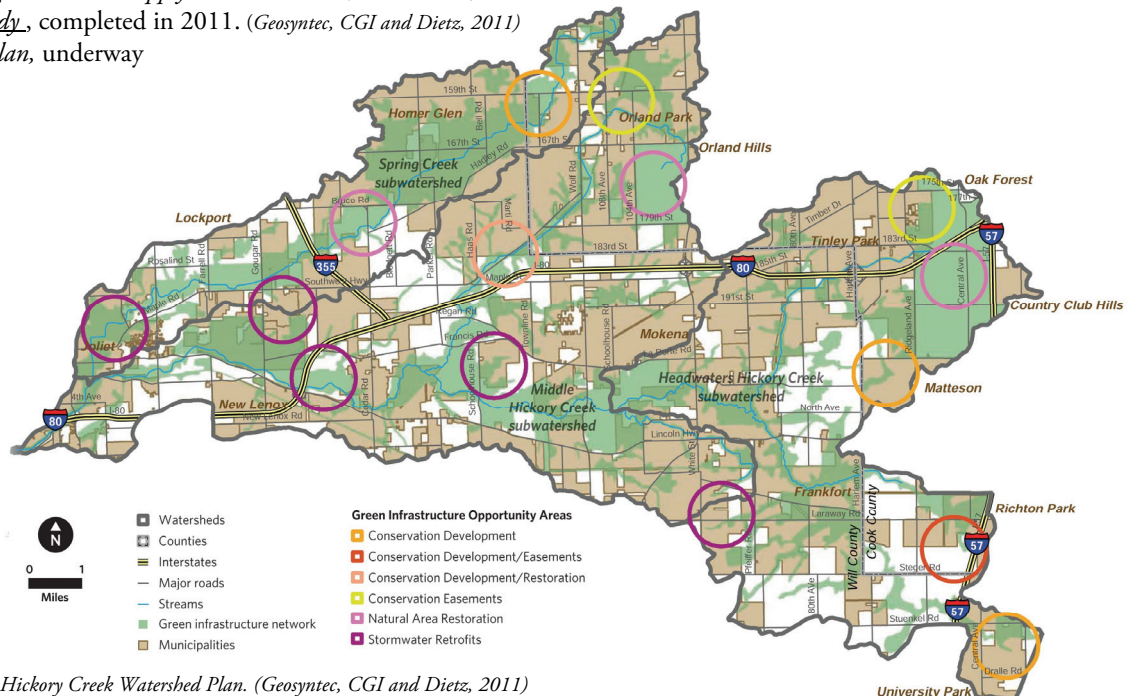
- GO TO 2040, adopted by CMAP in 2010 (CMAP, 2010a)
- Harlem Avenue Corridor Plan, completed in 2011 (URS and FTG, 2011)
- 159th Street Corridor Plan, completed in 2010 (HNTB, 2010)
- LaGrange Road Corridor Plan, completed in 2010 (T.Y.Lin, 2010)
- Village of Orland Park Strategic Transportation Plan, underway
- Water 2050 - NE Illinois Regional Water Supply Demand Plan, (CMAP, 2010b)
- Hickory Creek Watershed Study, completed in 2011. (Geosyntec, CGI and Dietz, 2011)
- Long Run Creek Watershed Plan, underway



Livable Communities Rendering. (CMAP, 2010a)



Excerpt: Harlem Avenue Corridor Plan. (URS and FTG, 2011)

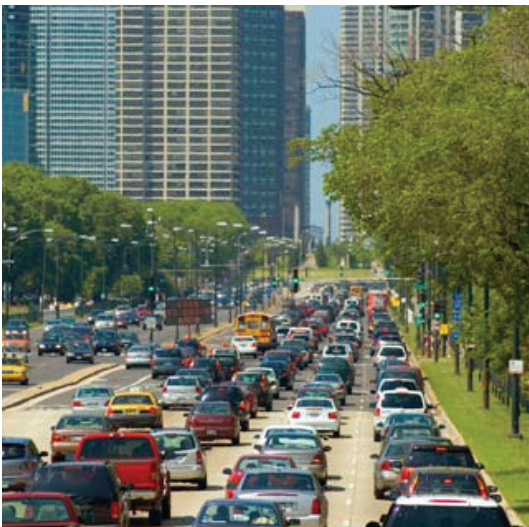


Hickory Creek Watershed Plan. (Geosyntec, CGI and Dietz, 2011)





*Union Station, Chicago. (City Profile, 2013)*



*Traffic Congestion, Chicago. (USNIH, 2013)*



*Lake Michigan. (Metroseeker, 2011)*

## Regional Fast Facts

### Population & Demographic *(CMAP, 2010a)*

- The Chicagoland seven-county region is projected to grow 25% from the present 8.6 million to 11 million residents by 2040.
- The senior population over 65 is expected to double by 2040.

### Ethnicity *(CMAP, 2010a)*

- The Hispanic and Latino populations are projected to grow to 30% of the total by 2040.
- The growth among all racial and ethnic groups is projected to continue to shift to the suburbs.

### Industry Clusters *(CMAP, 2010a)*

- The primary industry clusters in the Chicago-land area include Business and Financial Services, Health Care and Biomedical, Manufacturing, Advanced Materials, and Transportation and Logistics
- The green industry is an emerging regional industry cluster.

### Transportation *(INRIX, 2011)*

- In 2011, Chicago was rated among the **top ten worst** US cities for traffic congestion.

### Water

- “In addition to being Illinois’ largest recreational resource and one of its biggest economic assets, Lake Michigan is the largest public drinking water supply in the state, serving nearly 8.5 million people” *(City of Chicago, 2010a)*.

### Governance *(CMAP, 2010a)*

- With over six thousand, Illinois has more units of government than any other state in the country.

### Random Fact *(City of Chicago, 2010a)*

- The Chicago metropolitan area is home to 32 Fortune 500 companies.



*Horse Drawn Carriage at the Water Tower, Chicago. (City of Chicago, 2010b)*



## Orland Park Fast Facts

### Population & Demographic *(Nielsen 2011a, 2011b, 2011j)*

- Orland Park is projected to grow 21% from the present 56,767 to 72,000 residents by 2030.
- Senior citizens comprise 16.4% of the population, a growing segment which is above the state average of 12.2%.
- The number of children under age 10 decreased by 8.9% from 2000 to 2010.

### Ethnicity *(Nielsen 2011a, 2011b, 2011j)*

- From 2000 to 2010, Hispanic and Arab populations increased in Orland Park, but overall race composition in the Village is less diverse than the Chicagoland area.

### Industry Clusters

- The primary industry clusters in Orland Park include Retail/Service, Healthcare and Construction.

### Transportation

- The LaGrange Road widening project that began in 2013 is one of the largest infrastructure projects ever completed in the Village.
- 90% of residents use a car to get to work.

### Governance

- Orland Park is a *Home Rule* community, allowing municipal government to maximize local decision making.

### Random Fact

- The 11,000,000 square feet of commercial space in Orland Park would fill 2½ Willis (formerly Sears) Tower or almost 3 Merchandise Marts.



*Taste of Orland Park. (Wehmeier, 2013)*



*Cheesecake Factory, Orland Park. (Wehmeier, 2013)*

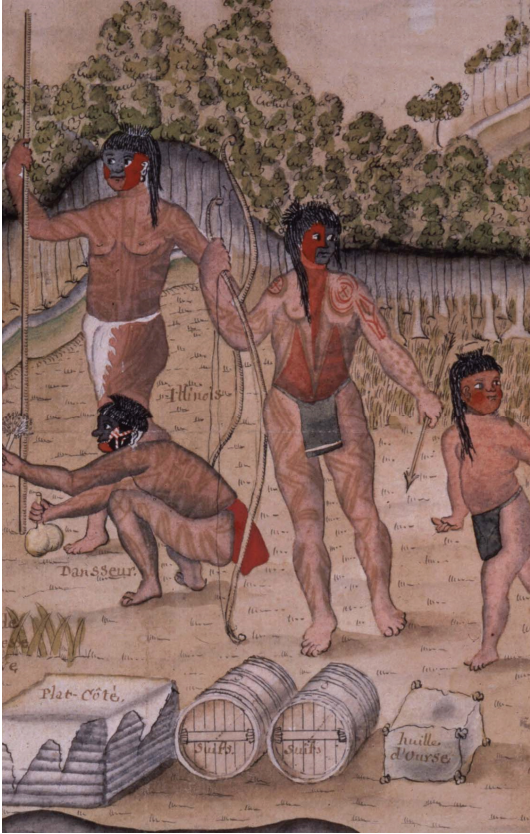


*Centennial Park Ball Fields, Orland Park. (Wehmeier, 2013)*



*143rd Street Streetscape, Orland Park*





*Inoca in 1735. (Batz, 1735)*

## Settlement

In the early 1800's, pioneers from the eastern U.S. and Europe migrated to the area creating homesteads in the woodlands, avoiding the prairies and wetlands. By the late 1800's and early 1900's, farmers plowed the prairie and drained wetlands to grow crops. *The history of the pioneer or settler in Orland Township is traced to the development of the territory. Natives in a treaty ceded land in 1816. In 1818 Illinois became a state. After the Black Hawk War many native people relocated out of the area in the mid 1830's. The General Land Office surveyed the area in 1834. At the time of the 1834 Survey, which would have indicated squatters, no inhabitants were recorded in Orland Township.*

*(McGuire, 1995)*

# Our People

## Early Residents

In Pre-European times the Illini/Inoca, Miami, Pottawatomi and other Native American groups populated the area around Orland Park. These early inhabitants were originally hunters and gatherers who became involved with farming, trading, pottery and the occupation of semi-permanent, often seasonal, villages. Orland area history, prior to European settlement, is spotty and unconfirmed, but we do know, beginning in the 1760's, control of the area shifted from the native inhabitants to European settlers. Although many of the early inhabitants were friendly to settlers, fighting ensued, and a 1816 treaty relocated many Indians to the west and ceded their land to the US government. The Blackhawk Treaty in 1832 forced all remaining Illinois Indians west of the Mississippi, many dying in the forced migration.

Henry Taylor, known as Orland Park's first European settler, arrived around 1834 and lived south of 159<sup>th</sup> Street near 94<sup>th</sup> Avenue. Others soon followed and by 1850 the area was known as the English settlement. In the 1850s, the Jacob and Bernard Hostert families arrived and built log cabins, which have been reconstructed, near Humphrey Woods. The 1850 census and other data showed a population of 504 people in 35 agricultural settlements in Orland Township.

Immigrant laborers, primarily Irish, were attracted to the region during the construction of the Illinois and Michigan Canal near the Des Plaines River. Around 1837, and later in 1879, immigrants continued to flock to the area to be near the newly constructed Wabash Railroad, now the Norfolk Southern Railroad, which went through Orland Park.

In 1848, after a brief relocation to pursue the gold rush in California, John Humphrey returned to Orland Park to become a state senator and community leader. He led the effort to incorporate Orland Park as a town in 1892 and was the first town president.

Most of Orland Park's original settlement founders were of German and English descent. As a small agricultural community, Orland Park maintained this ethnicity throughout the early years, with a relatively steady population until the middle of the twentieth century. Nearby Chicago, on the other hand, as a major industrial US city, grew with continual waves of immigration from around the world as well as from within the United States. Orland Park began to grow in earnest during the 1950's, along with the general trend toward suburbanization in US cities. Many people moved to the Orland area from Chicago's southwest side, inner ring southwest suburbs and other parts of the metro area. Orland Park's biggest population growth surge began after World War II, when returning soldiers looked for homes and when it became more profitable to sell land to developers rather than farmers. Orland Park grew 651.9% between 1950 and 1970, 302.7% between 1970 and 1980 and 120.5% between 1980 and 2010.

*(McGuire, 1995 & Masucci, 1991)*

## Current Residents

Today's residents of Orland Park are a part of the Village's unique character. The Village has a stable population with families less likely to move in and out than in many other suburbs. Many residents have shared histories of growing up on Chicago's Southwest Side and suburbs, providing a high level of familiarity and neighborliness. At the same time, the Village's growing diversity has brought in a larger world view as residents from other cultures have moved into the area. The educational level of Orland Park's residents is well above the national average, offering local businesses a strong employee base. Well educated residents with strong entrepreneurial abilities are a Village asset, as exhibited through many Orland based businesses. At 16.4%, seniors comprise a growing segment which is above the state average of 12.2%. Seniors offer a sense of community, history, and stability with the potential to mentor and volunteer within the community.

(Nielsen, 2011a)

Orland Park residents are characterized by their many shared interests: schools, places of worship, clubs, and organized sports, which promote health, sportsmanship, and social interaction. A wide variety of social opportunities are available to Orland Park residents. Village buildings, schools and churches provide activities and meeting spaces for clubs and organizations. Community outreach groups sponsor local fundraisers and offer organized help for people in need.

Orland Park residents have a significantly higher than average income and home ownership rate, as compared to the state and nation. They also have a higher median age, a higher foreign-born population, and a higher level of education. There is much less racial diversity in Orland Park than in the City of Chicago or the United States, although trends indicate an increase for the future. In 2010, 57.3% of Orland Park's total population reported Irish, German, Polish or Italian heritage. 69% of residents report affiliation to the Catholic church but a number of other faiths are represented. Ethnic and religious backgrounds strongly influence traditions and choices of lifestyles, activities, celebrations, and the general preferences and needs of the people.

(Nielsen, 2011a)

## Demographic Trends

Orland Park's population has increased over 10% since the year 2000. The 2010 US Census counts 56,767 residents in the area. Projected changes for 2016 predict a population growth of approximately 3.1%, which is slightly less than the 4.1% growth projected for the United States. Between 2000 and 2010, the number of Orland Park children under the age of 10 decreased by almost 9%, a trend that is expected to continue. Similar to nationwide projections, Orland Park will continue to see an increase in senior populations. By 2016, residents over the age of 65 are expected to increase by 2% and the median household age will increase by three years from 53 to 56. Race composition has remained fairly consistent over time but has recently shown a trend toward greater diversity with small increases in the Hispanic and Arab populations. Claims of ancestry on the census listed groups declined broadly from 2000 to 2010, but numbers claiming Greek ancestry increased slightly from 1,797 people in 2000 to 1,867 people in 2010.

(Nielsen, 2011a, Nielsen 2011b, Nielsen, 2011j, USBC, 2000, and USBC, 2013)



Recreation and Parks Senior Picnic, Orland Park

*Orland Park is consistently ranked nationally as one of the best places to live. Over 90% of residents plan on staying in Orland Park for five or more years and would recommend Orland Park to others as a place to live.*

*(Money Magazine, 2006 and NRC, 2012)*



Art Fair, Orland Park. (Wehmeier, 2013)

**Our People Fast Facts****56,767**

2010 Population.

**72,000**

2030 Population projection.

**41.4**

Median Age.

**67%**

Current percent of families with no family members under 18.

**55**

Age majority of householders will be by 2016.

**\$96,092**

Average household income.

**61.9%**

Percent of residents with college level or higher education.

**91.1%**

Percent of home ownership.

**1,997**

Property crime incidents per 100,000, compare to 'best places' average of 3,105.

**20%**

Percent above state average for school reading and math scores.

**96.68%**

Percent of households that own at least one car.

*(Money Magazine, 2006,  
Nielsen, 2011a and USBC, 2013)***Village Governance**

Orland Park is a *Home Rule* community. Illinois municipalities with over 25,000 residents automatically qualify for *Home Rule* status. Enabled by Illinois State law, *Home Rule* allows municipal government to engage in local decision making, including the power to regulate for the protection of the public health, safety, morals and welfare; the power to license; and the power to tax and incur debt.

The Village is governed by a Board of Trustees that includes a President (Mayor), and six Trustees that are elected at large to staggered four year terms. The Village operates via a Village Manager form of government to carry out efficient and effective operation of all Village departments, divisions, facilities and government services.

**Activities and Culture**

There is a lot to do in Orland Park! A wide range of cultural events and festivals are offered throughout the seasons. Residents actively participate in an extensive network of religious, athletic, business, academic, hobby and social organizations, contributing their energies and talents to a better community. High resident levels of dedication and participation in community, school and youth activities are a cornerstone of the community.

**Schools**

Orland Park families benefit from excellent and highly rated school districts with a deep commitment to education. Orland Park includes four grammar school districts. Most of the Village is served by District #135; other districts include District #146, District #118 and District #140. A number of other parochial and private schools also serve students in the area, including St. Michael's. Orland Park is located within Consolidated High School District #230 and the majority of Orland Park students attend Carl Sandburg High School located near the intersection of 131<sup>st</sup> Street and LaGrange Road. St. Xavier University, ITT Technical Institute, Robert Morris University and Moraine Valley Community College are well-known higher education facilities located in or near Orland Park.

**Places of Worship**

More than 15 places of worship are scattered throughout the Village serving a wide range of religious faiths. Denominations include Catholic, Presbyterian, Methodist, Lutheran, Baptist, Muslim and others. Religious institutions serve as social centers for many residents.

**Civic and Youth Clubs**

Orland Park's civic minded residents are active in a wide range of community organizations and services including the Chamber of Commerce, Rotary Club, Lions Club, various youth sports clubs and organizations, plus numerous service organizations that meet a wide range of social services needs.

**Festivals and Events**

The Village boasts its own Recreation and Parks Department to provide many high quality events. Every season, the Village coordinates a number of well attended events such as the summer Farmers Market, Taste of Orland Park, Garden Walk, Theatre Troupe productions, art shows and music concerts.



# Our Built Environment

Over the past 100 years, Orland Park has transformed from sparsely populated prairies and wetlands to farmland to a small village to the bustling suburb of today.

## History

Temporary camps were the earliest places of residence of the nomadic tribes that first inhabited the Orland area. Their homes typically consisted of bark covered long houses or dome shaped wigwams. One of the first known structures to be built in the Orland area were two cabins built by the Hostert brothers in the early 1850's. They were built of Red Oak logs and had a dirt floor, and have been relocated and restored in Humphrey Woods Park.

The construction of the Illinois and Michigan Canal (1837) and the Wabash Railroad (1879), which bisected Orland Park, changed the future of the area by improving the ability to ship agriculture and other products regionally. The new railroad brought with it railroad stations, the first at 143<sup>rd</sup> Street, known as 'Sedgewick Station'. This was the initial catalyst for the small residential parcels that sprang up around the station. Later, the area around the Alpine Railroad Station at 167th Street was also subdivided into residential parcels. After a fire in 1912, this area was not reconstructed.

By 1880, agriculture dominated the landscape of Orland Park. The Village now had a commuter train to Chicago and platted subdivisions that were developed around the stations. By the early 1900's, advances in the use of drainage tile spurred conversion of previously wet areas into farms and roads. Cemeteries were reserved for burial of the deceased. Gradually, the general character of the land evolved into a more built environment. Electricity arrived in 1922 and spread to the surrounding farms by 1930. The number of farming buildings expanded as the farms did to include barns, sheds, silos, chicken coops, and other accessory structures as well as additional houses. All of these changes caused further development in the built environment and changes to the landscape.

Agriculture continued to dominate the character of the area through the mid-1940s. After World War II however, land value began to rise as returning soldiers sought housing. Village improvements to utilities further added value to the land for housing and the first formal subdivision in the area, Orland Park Hills, was constructed in 1957. Civic structures such as schools and churches were also constructed to serve the growing population. The development of housing subdivisions and their related community, commercial and industrial activities radically changed the character of the built environment in Orland Park. Suburbanization occurred robustly from the 1960's through the 1980's in the form of single family homes on 10,000sf lots and strip malls with surface parking lots. Constructed in 1975, Orland Square Mall started Orland Park down a path to becoming a regional commercial center.

*(Nielsen, 2011a, McGuire, 1995 & Massucci, 1991)*



*Reconstructed Hostert Cabin, Orland Park*



*Stellwagen Farm, Orland Park. (Wehmeier, 2013)*



*Orland Square Mall, Orland Park. (Wehmeier, 2013)*

**Our Built Environment  
Fast Facts****22,000**

Housing units

**11,000,000**

Square feet of commercial space.

**850,000**

Number of people in effective trade area.

**3,872**

Restaurants within 15 miles.

**27**

Movie theaters within 15 miles.

**9**

Regional new automobile dealerships.

**30**Number of service trains provided weekly  
along the Southwest Metra Line.**182**

Golf courses within 15 miles.

**275,000**Square feet of public and private fitness  
centers.**150**

Miles of walking trails

**46**Baseball fields, 39 Basketball courts, 25  
tennis courts, 23 soccer fields, 36  
playgrounds and 11 bocce ball courts.**Today**

Typical of many outer ring suburbs, the average age of residential homes in Orland Park is newer than the rest of the country. During the 1990's and 2000's, Orland Park strengthened its position as a regional commercial center, nurturing the development of businesses to serve its growing population and the region. During this time, the Village added facilities such as a new Village Center, library, police station, aquatic center, sports complex, new parks and open lands, train stations, and bikeways.

Development patterns for the most part, have been shaped by the 1991 Comprehensive Plan, Land Development Code, Village Code, and parcel-by-parcel investment. Some areas, such as the Orland Square Mall in the 1970s, and the Downtown area, currently under re-development, have been driven by a Master Plan for an entire area. Planned Developments for commercial areas have addressed entire shopping centers. However, the rapid speed and sudden growth spurts challenged the Village to plan for development in a way that defined a positive community sense of place and a sense of connectivity from one planned development to the next. The biggest challenges for the Village as related to the built environment have been connectivity, identity and definition of the whole.

*Sheffield Square Townhomes, Orland Park*



## Civic Center

The Civic Center is located along Ravinia Avenue and is home to several local governmental entities:

### Village Hall Campus

The one hundred acre Village Hall Campus serves as a community focal point and activity center. The three core buildings, Village Hall, the Civic Center, and the Franklin Loebe Recreation Center were constructed in 1989. The campus also includes the Recreation and Parks Building, John Humphrey sports fields, an outdoor amphitheater, and the historic preserved Humphrey Woods. The American Institute of Architects has named the campus as one of 150 great places in Illinois. The architecture of the Village Hall building received an American Institute of Architects (AIA) award for its attractive and unique architecture with regional Prairie School architectural style influences. Civic investment in these high quality buildings has set a standard of excellence for the community.

### Orland Park Police Department

The Police Department building was constructed in 2007 in a former warehouse on Ravinia Avenue. It was the first police headquarters in the United States to receive LEED Gold Certification by the US Green Building Council.

### Orland Park Public Library

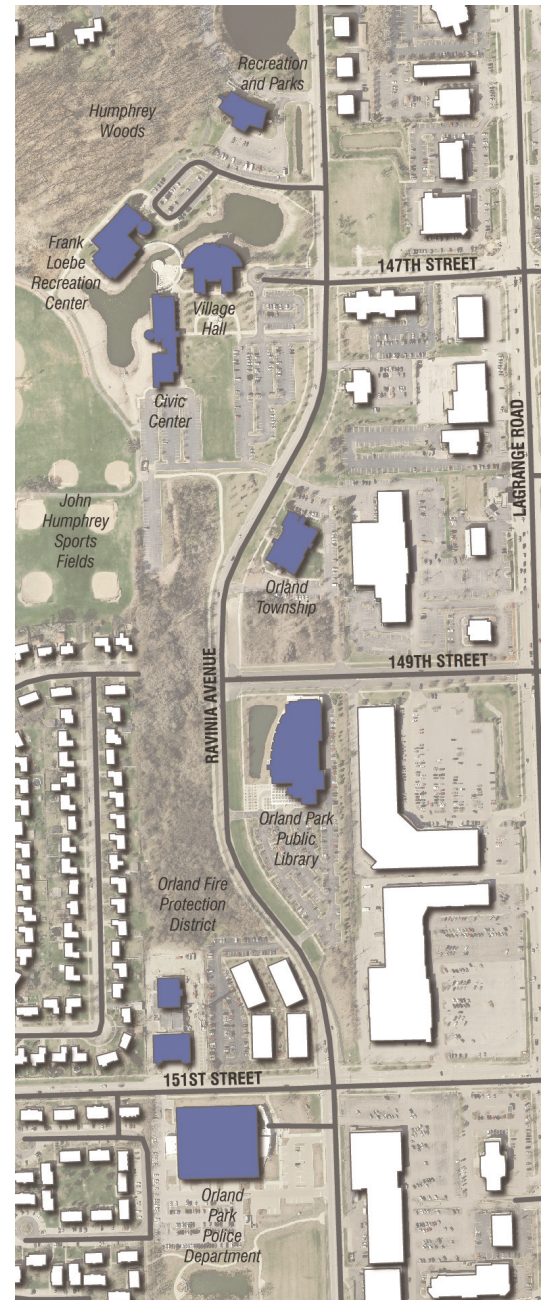
Further south on Ravinia Avenue, Orland Park's Public Library is another award winning public facility that serves as a cultural focal point. The 93,000 square foot building opened in 2004, and offers reading, audio-visual materials, and state of the art technology.

### Orland Fire Protection District

Fire services are provided primarily by the Orland Fire Protection District, but some areas of the Village are protected by Palos Fire District, Mokena Fire District and Tinley Park Fire Department. Orland Fire is headquartered at just west of Ravinia Avenue on 151st Street, and the District has six fire stations scattered throughout the Orland Park and Orland Hills area.

### Orland Township

The Orland Township Building is located across from Village Hall on Ravinia Avenue. Most unincorporated areas within Orland Park's planning area are governed by Cook County and Orland Township, which helps provide Orland area residents with health and senior services, as well as highway maintenance for Township roads. Small portions of the planning area are served by Bremen and Palos Townships.



Civic Center Map



Village Hall, Orland Park. (Webmeier, 2013)



LEED Gold Certified Orland Park Police Department, Orland Park





*Ninety7Fifty on the Park, Orland Park*

## Things to do and Places to go

### Sense of Place

Place is more than just a location or a spot on a map. A sense of place is a unique collection of qualities and characteristics – visual, cultural, social, and environmental – that provides meaning to a location. Orland Park's sense of place has been driven by traditional single family suburban housing surrounded by considerable amounts of open space, most constrained by physical features such as wetlands and floodplain, as well as the regional and local commercial development that was built to serve area residents and the large trade area. Recent efforts have focused on diversifying the built environment, like in the new Downtown Development. The Village has also worked to provide enhancements to public infrastructure projects such as the 143<sup>rd</sup> Street intersection and the Main Street area. Other public gathering spaces include the Village Hall Campus, public parks such as Centennial Park and West Centennial Park. Private gathering spaces include Orland Square Mall, Marcus Cinema, and the numerous restaurants located throughout the Village. Providing meaningful public gathering spaces that serve all ages and cultures and that define our community in a positive and cohesive manner, rather than just letting 'left-over' spaces fill the void, is important.

### Downtown Orland Park

Typical of suburban areas that emerged in the later part of the twentieth century, Orland Park had a small rural based historic core, but no definable downtown. One recent major change in the built environment has been the planning and partial construction of a new downtown, including a triangular area that will be developed as a mixed use transit oriented development and is anchored by the Village's 143<sup>rd</sup> Street train station. The downtown includes four unique but integrated Character Districts. A 295 unit apartment building, Ninety7Fifty on the Park, is the basic building block for this area and will be completed in 2013.

### Shopping, Dining and Entertainment

Orland Park is known for its shopping opportunities, and serves as a regional hub drawing visitors from as far as Indiana. A tremendous selection of regional and national retail establishments can be found in Orland Park, along with a generous number of locally owned and operated businesses. Choices range from the power house Orland Square Mall to small antique shops in the historic district. Orland Park attracts vibrant and popular shopping, dining and entertaining businesses that residents and visitors enjoy.

### Recreation and Parks

Recreation and parks facilities have served the Village residents for many years, and are one of the most treasured Village assets according to recent surveys. The Village's Sportsplex offers 90,000 square feet of indoor recreation activities including gymnasiums, soccer fields, and a fitness center with climbing wall and an indoor track. The Centennial Park Aquatic Center includes an 18,000 square foot swimming pool with seven large slides and a "Lazy River". Area parks provide sports fields, playgrounds, and bike trails. Private facilities provide several golf courses in the community, as well as numerous indoor recreation facilities and clubs serving a wide range of sports and instructional activities.

## Places to Work

### Business and Industry

In addition to the large number of jobs available in Orland Park's retail and restaurant establishments, many high quality jobs are located in the finance, insurance, technical, and health care industries. Some residents benefit from the short commute provided by these industries. However, the highly educated population would support the further expansion of major employment centers and offices.

## Places to Live

### Housing

Housing choices in Orland Park are fairly diverse, offering a wide range for all budgets and life styles. Options range from quaint turn of the century painted ladies to traditional suburban style single family homes to new townhomes and condominiums. Recent additions to the housing stock that have improved diversity include senior housing and luxury apartments. As the population continues to grow and change, the challenge will be to provide housing that meets all life stages and encourages new residents to locate in Orland Park and existing residents to stay as they grow up, reach adulthood, and then age.

## How to get around

Although extensive, the transportation network has struggled to keep pace with the rapid growth both regionally and within Orland Park. The Village has taken the lead on many roadway projects and supported the State of Illinois improvements, including the LaGrange Road widening, a multi-year roadway project. The Village is fortunate to have Metra commuter rail service and three train stations connecting to Union Station in downtown Chicago. Several PACE Bus lines also serve the Village. The Village promotes sidewalks and bikeways that contribute to resident health and recreation, and provide an alternative to the automobile. However, the primary form of transportation remains the automobile, due to preferences and habits, but also due to the lack of population density required to support an extensive public transportation system.

Roads in Orland Park fall under the jurisdiction of multiple governmental agencies including the State of Illinois, Cook County, Village of Orland Park, and the Townships.

Recent street improvements have included:

- 143rd Street and LaGrange Road intersection improvements and enhancements
- 183rd Street and Wolf Road traffic signal
- Railroad quiet zones established
- 159th Street and LaGrange Road
- Ravinia north leg
- Bicycle pedestrian bridge
- 153rd Street multi-use path expansion

Improvements on the near horizon:

- LaGrange Road widening
- Ravinia Avenue extension to LaGrange Road



*American Technical Publishers, Orland Park. (Wehmeier, 2013)*



*Thomas Place Senior Apartments, Orland Park*



*Bike Racks at 143rd Street Metra Station, Orland Park*





*Dave & Busters, Orland Park*

*With good homes, low crime, above average schools and plenty to do, Orland Park 'combines the vibrancy of the city with the comforts of the suburbs.'*  
(Money Magazine, 2006)



*Undeveloped Land at Orland Crossing, Orland Park*



*Miroballi Shoes, Orland Park. (Wehmeier, 2013)*

## Planning for the future

### Redevelopment

Many recent projects in the Village have involved redevelopment rather than greenfield development. In addition to the new downtown area, other recent projects include Dave & Busters, Marquette Bank, Miroballi Plaza, Sheffield Square Townhomes, 179th Street McDonald's and the 159th Street Plaza. The redevelopment of infill sites helps to maintain the integrity and vitality of the Village core, and saves money and resources by utilizing existing infrastructure.

### Growth Areas

Thousands of undeveloped acres of land, primarily on the Village's west side, offer potential for future growth. Most of the land is owned by Gallagher and Henry, a large residential developer. Unless sold to others in the future, the land is anticipated to be primarily developed as residential.



## Our Natural World

Picturesque open space, large parks, wetlands, grasslands, water bodies and forests define Orland Park's unique natural character. The Village's planning area includes six tributary creek headwaters and touches on seven watersheds. Orland Park borders five major County Forest Preserves that contain over 15,000 acres of permanently preserved open space.

(Mule, 2002)

The glacially formed topography of Orland Park includes a mix of rolling hills, flatlands and water bodies. Orland Park lies on a natural continental divide that separates the Mississippi Watershed and the Great Lakes/Atlantic Ocean Watersheds. It is generally an area of higher elevations and serves as the headwaters for six tributary streams and creeks. The preserved open spaces and natural features offer expansive vistas and outstanding natural beauty.

(Mule, 2002)

Over time, glacial lakes evolved into a rich mix of wetlands, creeks, lakes, prairies, forests and savannas. Development through the years significantly altered the original ecosystem, although some features were preserved and remain. Settlers soon discovered that the soil was very suitable for agriculture, and farming altered the original landscape by plowing under prairie to plant monoculture crops, exposing soil to erosion, sedimentation of creeks, draining wetlands with field tiles and channelizing creeks. In later years, land developers substantially re-graded the topography and changed drainage patterns, created artificial ponds, replaced overland flow with underground storm sewers, and removed much of the topsoil.

(Massucci, 1991)

Today, much of the developed land exhibits a manicured landscape character, with extensive lawns and a diverse array of trees and shrubs. However, recently there has also been an increased interest in the use of native trees, shrubs and perennials in a more natural setting. Although not widespread, Orland Park includes pockets of the historic ecosystem including oak savannahs, wetlands and prairies.

(Massucci, 1991)



Lake Sedgewick, Orland Park. (Webmeier, 2013)

### Our Natural World Fast Facts

60

Number of parks.

740

Acres of dedicated open space.

270

Acres of open space purchased by the Open Lands Program for permanent protection, including the unique Stellwagen and Boley Farms.

192

Acreage of Centennial Park, Orland Park's largest park. Lake Sedgewick, Orland Park's largest water body, is the park's key natural feature.

20

Acres of Village owned Humphrey Woods, a preserved remnant of a glacially formed hill, now an Oak Woodland.

15,000

Acres of permanently preserved County Forest Preserve adjacent to the Village.

7

Number of different watersheds that fall within the village boundary. Orland Park sits on a natural continental divide with water draining both the Gulf of Mexico and to the Atlantic Ocean.

6

Number of tributary creek headwaters located within the village boundary.

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