



## Single Family Residential

### Basement Remodel / Finished Basement Handout

Permit # \_\_\_\_\_

#### Application Requirements

1. Building Permit Application
2. Electrical Permit Application
3. Plumbing Permit Application and letter of intent (if required)
4. Mechanical Permit Application (if required)

#### Contractor Licensing

1. If the homeowner chooses to perform all or part of the construction, then a completed Homeowner's Affidavit Form must be submitted with the permit submittal.
2. All contractors hired by the homeowner to perform work on the project must be listed on the permit application and must obtain a Contractor's License with Village of Orland Park prior to permit being issued.

#### Building Plans Requirements

1. Plan drawing shown to scale, drawn using straight edge, including all dimensions.
  - a. Show room walls layout, doors, room names, unfinished spaces and room dimensions.
  - b. Show bathroom layout and mechanical room layout if applicable.
  - c. Show locations of all existing or proposed windows, including type of window, size of window, and sill height above the finished basement floor.
  - d. Electrical information showing locations of required outlets, light switches, ceiling lights, and smoke/carbon monoxide alarms.
  - e. Mechanical information showing locations of all supply and return registers, and location of exhaust fan for bathrooms or kitchens routed to the exterior of building.
2. Wall section detail drawing showing typical wall framing, insulation, and fire stopping.

***Note: The building plan requirement drawings may be prepared by the homeowner or the contractor on 8.5"x11" or 11"x17" paper, drawn to a uniform scale with a straight edge. The homeowner also has the option of having a Licensed Architect prepare plans for the project. Large or complicated basement projects may require that the plans be prepared by a licensed design professional.***

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## Construction Requirements

### General, Ceiling Height, and Minimum Room Size Requirements

- All finished habitable basement rooms, bathrooms, toilet rooms, laundry rooms and closets shall have a minimum ceiling height of 7'-0". Structural beams, girders, or ducts are allowed to project as low as 6'-4" measured from finished floor to finished ceiling.
- Habitable rooms shall be a minimum of 70 square feet, but no smaller than 7 feet in any horizontal dimension.
- Existing unfinished basements which are being converted to finished basements must meet the minimum ceiling height requirements. If existing basement height is lower than 7 feet, the basement will not be allowed to be converted into a finished basement.
- All sleeping rooms must have a dual voltage smoke alarm inside the room, and there must be a dual voltage smoke/CO alarm outside the sleeping room but within 15 feet of the room.
- All smoke and CO alarms shall be interconnected to the extent possible.

### Wall Framing, Insulation, Fireblocking and Draftstopping Requirements

- All wood framing in contact with concrete must be pressure treated.
- Wood framing shall be provided with fireblocking to cut off all concealed draft openings and to form an effective fire barrier between stories. All interconnections between concealed vertical and horizontal spaces such as occur at, top of wall, soffits, dropped ceilings, as well as all furred out framing at every 10 feet along the length of the wall, shall be provided with one of the following:
  - 2x lumber (2x4 or 2x6, etc.)
  - Two layers of 1x lumber with staggered joints
  - One layer of ¾" plywood or similar sheathing product
  - One layer of ½" gypsum board
  - One layer of ¼" cement board
  - Unfaced fiberglass or mineral wool insulation stuffed tightly as to remain in place under fire conditions.
- Any concealed ceiling space which results in a large concealed area shall have draftstopping installed as to create compartments not exceeding 1000 square feet in size. Draftstopping materials allowed shall be same as listed above for fireblocking.
- All exterior basement walls shall be insulated as to create a continuous thermal envelope for the entire basement or for newly finished basement space. Exterior wall insulation shall extend the entire height of the foundation wall from the basement floor, and shall be as follows:
  - Minimum of R19 batt insulation in the stud cavities of framed walls.
  - Or minimum of R15 continuous insulation either on exterior or interior of foundation wall.
  - All exposed insulation materials including facings such as vapor barrier shall have a flame spread index not to exceed 25 and smoke-developed index less than 450.

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## **Emergency Egress Windows or Doors**

- All finished basements must have minimum of one emergency egress window with minimum opening size of 5 square feet, with minimum width of 20" and height of 24", and sill height not exceeding 44" above finished floor. In lieu of emergency egress window, a door leading from the basement directly to the exterior of the building may be provided, if exterior grade allows it.
- Any room in the basement with a closet is considered a sleeping room. Each sleeping room shall have an emergency egress window or door. If the basement contains at least one sleeping room with an emergency egress window, no additional emergency egress windows are required in the other non-sleeping rooms.
- Window wells serving the required emergency egress window shall be 3x3 feet minimum and shall have a permanent ladder installed if over 44" in height.
- If window well is located within 3 feet of a walking surface, then fall protection such as a window well cover or railing must be installed.

## **Light, Ventilation and Mechanical Requirements**

- All finished habitable rooms must be provided with natural light (window) or artificial light equal to at least 8% of room floor area.
- All finished habitable rooms must be provided with means of natural ventilation (operable window) equal to at least 4% of room floor area or with mechanical ventilation. When using mechanical ventilation as a source of fresh outside air in lieu of windows, a fresh air intake built into the central heating and air-conditioning system must be installed.
- All finished habitable rooms must be provided with permanent heating facilities being able to sustain the interior temperature at a minimum of 68° F when outdoor temperature is -1° F.
- Provide a minimum of one supply and one return duct to each enclosed habitable room. A return transfer grill may be permitted per Building Official approval.
- Bathroom must be provided with mechanical exhaust, constructed of metallic duct material, terminating on the exterior of the building.
- Any and all valves, dampers, or controls located in the ceiling must be provided with access panels or removable ceiling tiles.

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# ORLAND PARK

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## Stair Requirements

- Stairs leading into the finished basement shall meet the following requirements:
  - Minimum tread depth shall be 10", measured nosing to nosing
  - Maximum riser height shall be 7 ¾"
  - Minimum headroom in all parts of the stairway shall not be less than 6'-8" (80") measured vertically from the sloped plane adjoin the tread nosing or floor surface.
  - Enclosed accessible space under the stair (such as closet) shall have the walls and ceiling covered with ½" gypsum board.

## Electrical Requirements

- Finished basement shall be provided with electrical receptacles per 2'/6'/12' rule.
- Hallways more than 10 feet in length shall have at least one receptacle.
- All bathrooms and laundry rooms shall be provided with at least one GFCI receptacle.
- All sleeping rooms shall be protected by an arc-fault circuit interrupter(s).
- All closets over 5 square feet shall have a switched overhead light.
- All wiring must be in approved metallic conduit. "Romex" and "BX" are not permitted.
- Stairs shall be illuminated at top and bottom, and a 3-way switch shall be provided at top and bottom.

## Plumbing Requirements

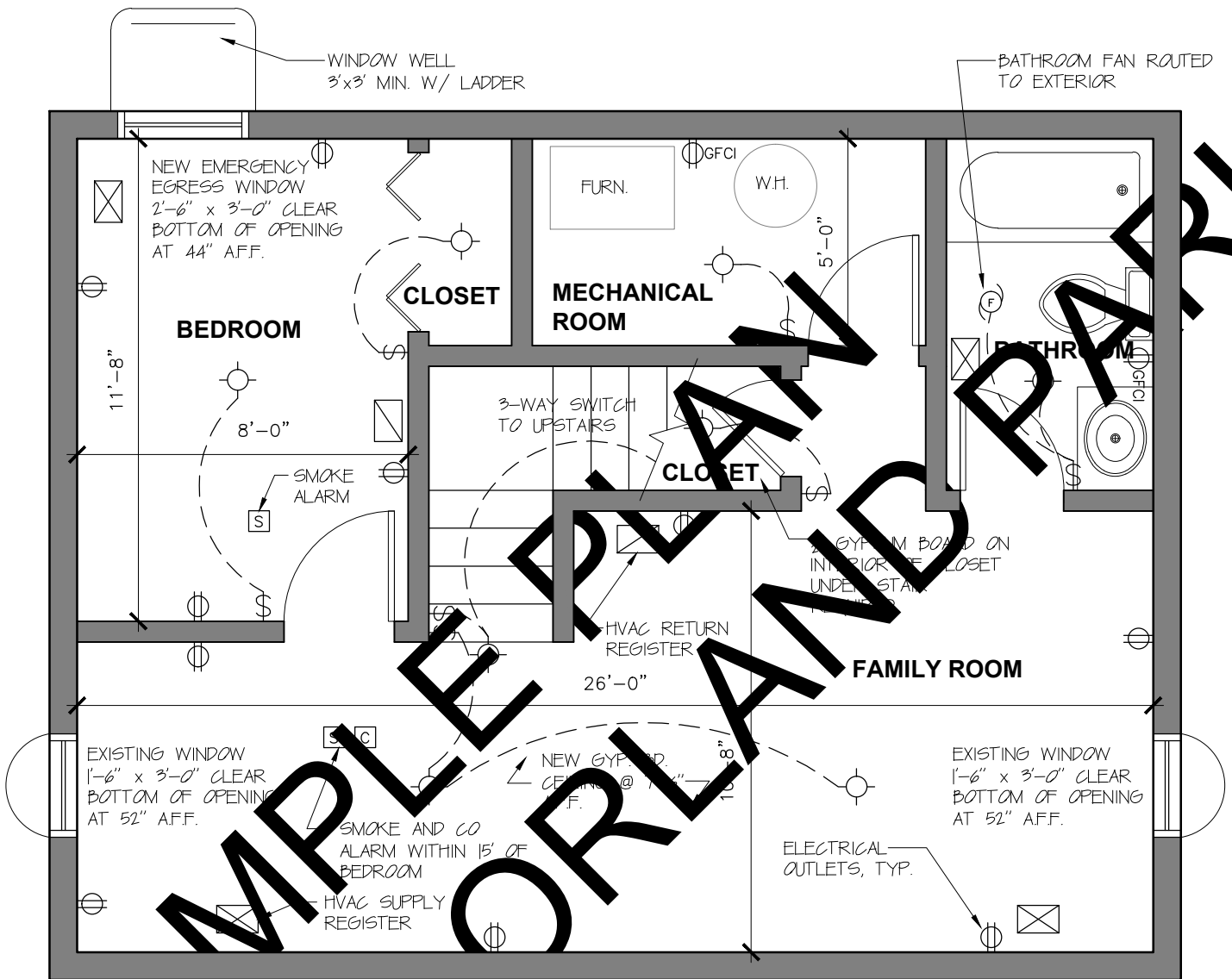
- All above ground water supply piping shall be Type L copper and below grade copper shall be Type K.
- Submit a complete plumbing fixture count, listing all existing plumbing fixtures and all new plumbing fixtures if doing any plumbing work as part of the basement remodel.
- Indicate the size of the existing incoming water service pipe and existing water meter size.
- Any underground plumbing work must be inspected prior to backfill and pouring concrete.
- Provide access panels for all concealed clean outs in sanitary waste lines.

*The above requirements are based on the 2018 International Residential Code with the Village of Orland Park Amendments. The requirements listed are a general summary of the codes applicable in a typical basement remodel project. For complete list of requirements refer to the adopted codes in Section 5-1-14 of the Village of Orland Park Village Code.*

Printed Name: \_\_\_\_\_

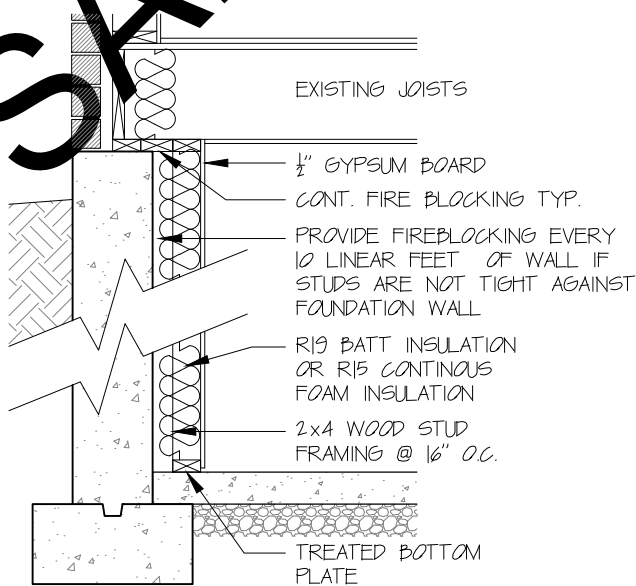
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Date: \_\_\_\_\_ Signature: \_\_\_\_\_












**Proposed Basement Plan**

SCALE: 1/4" = 1'-0"



**Proposed Basement Wall Section**

SCALE: 1/2" = 1'-0"

-  SUPPLY VENT REGISTER
-  RETURN VENT REGISTER
-  ELECT. DUPLEX RECEPTACLE
-  ELECT. GFCI RECEPTACLE
-  CEILING MOUNTED LIGHT FIXTURE
-  EXHAUST FAN
-  ELECT. SWITCH
-  SMOKE ALARM
-  SMOKE / CARBON MONOXIDE COMBINATION ALARM